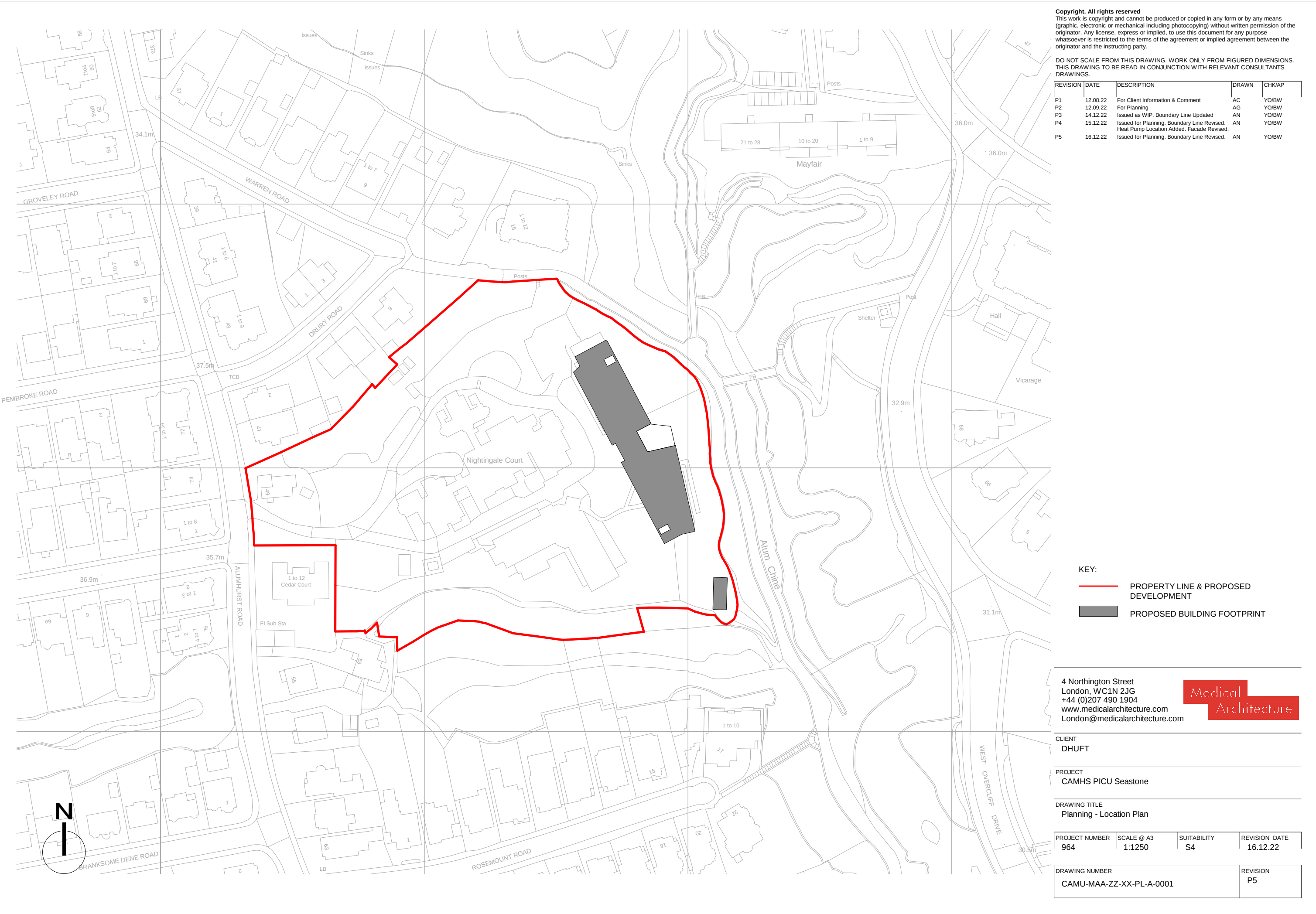
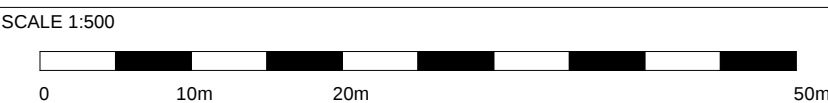






KEY:

PROJECT BOUNDARY & PROPOSED DEVELOPMENT



4 Northington Street
London, WC1N 2JG
+44 (0)207 490 1904
www.medicalarchitecture.com
London@medicalarchitecture.com

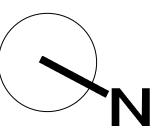
Medical Architecture

CLIENT
DHUFT

PROJECT
CAMHS PICU Seastone

DRAWING TITLE
Planning - Existing Site Plan

PROJECT NUMBER 964	SCALE @ A1 1:500	SUITABILITY S4	REVISION DATE 16.12.22
DRAWING NUMBER CAMU-MAA-ZZ-XX-PL-A-0002			REVISION P5





Copyright. All rights reserved
This work is copyright and cannot be produced or copied in any form or by any means (graphic, electronic or mechanical including photocopying) without written permission of the originator. Any license, express or implied, to use this document for any purpose whatsoever is restricted to the terms of the agreement or implied agreement between the originator and the instructing party.

DO NOT SCALE FROM THIS DRAWING. WORK ONLY FROM FIGURED DIMENSIONS. THIS DRAWING TO BE READ IN CONJUNCTION WITH RELEVANT CONSULTANTS DRAWINGS.

REVISION	DATE	DESCRIPTION	DRAWN	CHK/AP
P1	12.08.22	For Client Information & Comment	AC	YO/BW
P2	12.09.22	For Planning	AG	YO/BW
P3	14.12.22	Issued as WIP. Boundary Line Updated. ASHP Added.	AN	YO/BW
P4	15.12.22	Issued for Planning. Boundary Line Revised. Heat Pump Location Added. Facade Revised.	AN	YO/BW
P5	16.12.22	Issued for Planning. Boundary Line Revised.	AN	YO/BW

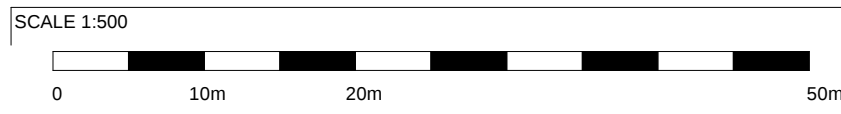
KEY:

— PROJECT BOUNDARY & PROPOSED DEVELOPMENT

NOTE:

THIS LAYOUT TO BE READ IN CONJUNCTION WITH LANDSCAPING DETAILS AND LANDSCAPE ARCHITECT LAYOUT: CAMU-UBU-XX-XX-DR-L-1001

ON THE PROPOSED PLANS TREES ARE SHOWN INDICATIVELY. REFER TO HELLIS TREE REPORT AND LANDSCAPE ARCHITECTS DRAWINGS



4 Northington Street
London, WC1N 2JG
+44 (0)207 490 1904
www.medicalarchitecture.com
London@medicalarchitecture.com

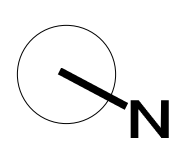
Medical Architecture

CLIENT
DHUFT

PROJECT
CAMHS PICU Seastone

DRAWING TITLE
Planning - Proposed Site Plan

PROJECT NUMBER 964	SCALE @ A1 1:500	SUITABILITY S4	REVISION DATE 16.12.22
DRAWING NUMBER CAMU-MAA-ZZ-XX-PL-A-0006			REVISION P5



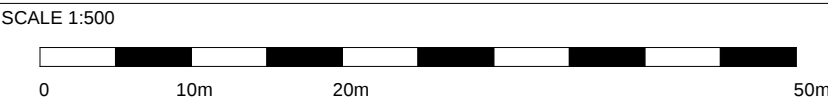


- KEY:
- PROJECT BOUNDARY & PROPOSED DEVELOPMENT
 - CAMHS PATIENT AND STAFF VEHICLE ACCESS
 - PEDESTRIAN ACCESS
 - MAIN ENTRANCE
 - SECLUSION ENTRANCE

NOTE:

THIS LAYOUT TO BE READ IN CONJUNCTION WITH LANDSCAPING DETAILS AND LANDSCAPE ARCHITECT LAYOUT: CAMU-UBU-XX-XX-DR-L-1001

ON THE PROPOSED PLANS TREES ARE SHOWN INDICATIVELY. REFFER TO HELLIS TREE REPORT AND LANDSCAPE ARCHITECTS DRAWINGS



4 Northington Street
London, WC1N 2JG
+44 (0)207 490 1904
www.medicalarchitecture.com
London@medicalarchitecture.com

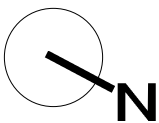
Medical Architecture

CLIENT
DHUFT

PROJECT
CAMHS PICU Seastone

DRAWING TITLE
Planning - Site Access

PROJECT NUMBER 964	SCALE @ A1 1:500	SUITABILITY S4	REVISION DATE 16.12.22
DRAWING NUMBER CAMU-MAA-ZZ-XX-PL-A-0007			REVISION P5



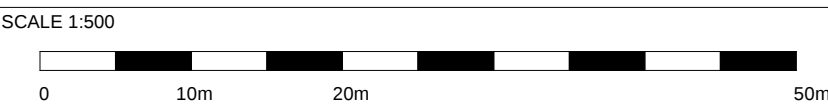


- KEY:
- PROJECT BOUNDARY & PROPOSED DEVELOPMENT
 - STAFF/VISITORS PARKING
 - STAFF/VISITORS PARKING - FORWARD PARKING ONLY
 - DISABLED PARKING
 - EV ELECTRIC VEHICLE PARKING

NOTE:

THIS LAYOUT TO BE READ IN CONJUNCTION WITH LANDSCAPING DETAILS AND LANDSCAPE ARCHITECT LAYOUT: CAMU-UBU-XX-XX-DR-L-1001

ON THE PROPOSED PLANS TREES ARE SHOWN INDICATIVELY, REFER TO HELLIS TREE REPORT AND LANDSCAPE ARCHITECTS DRAWINGS



4 Northington Street
London, WC1N 2JG
+44 (0)207 490 1904
www.medicalarchitecture.com
London@medicalarchitecture.com

Medical Architecture

CLIENT
DHUFT

PROJECT
CAMHS PICU Seastone

DRAWING TITLE
Planning - Parking Plan

PROJECT NUMBER
964

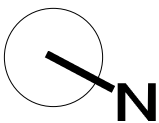
SCALE @ A1
1:500

SUITABILITY
S4

REVISION DATE
16.12.22

DRAWING NUMBER
CAMU-MAA-ZZ-XX-PL-A-0008

REVISION
P5





KEY:

PROJECT BOUNDARY & PROPOSED DEVELOPMENT

Fire Vehicle Emergency Fire Vehicle 7.7x 2.43 m

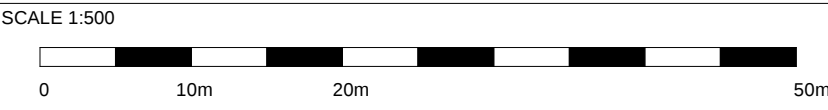
Distance to building from closest point of reach of emergency vehicle

Public escape route

NOTE:

THIS LAYOUT TO BE READ IN CONJUNCTION WITH LANDSCAPING DETAILS AND LANDSCAPE ARCHITECT LAYOUT: CAMU-UBU-XX-XX-DR-L-1001

ON THE PROPOSED PLANS TREES ARE SHOWN INDICATIVELY. REFER TO HELLIS TREE REPORT AND LANDSCAPE ARCHITECTS DRAWINGS



4 Northington Street
London, WC1N 2JG
+44 (0)207 450 1904
www.medicalarchitecture.com
London@medicalarchitecture.com

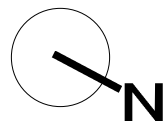
Medical Architecture

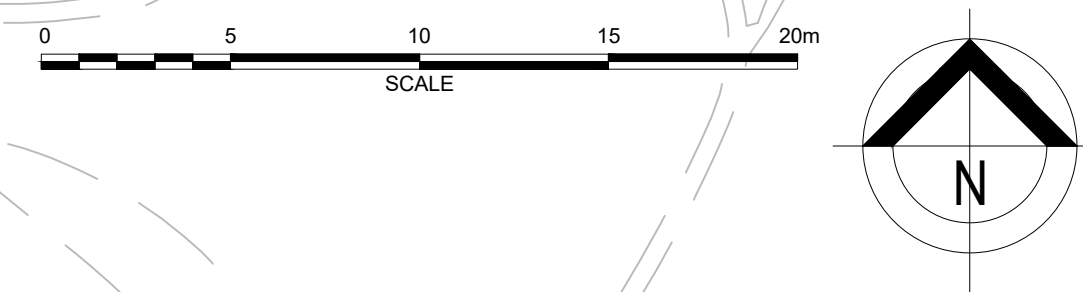
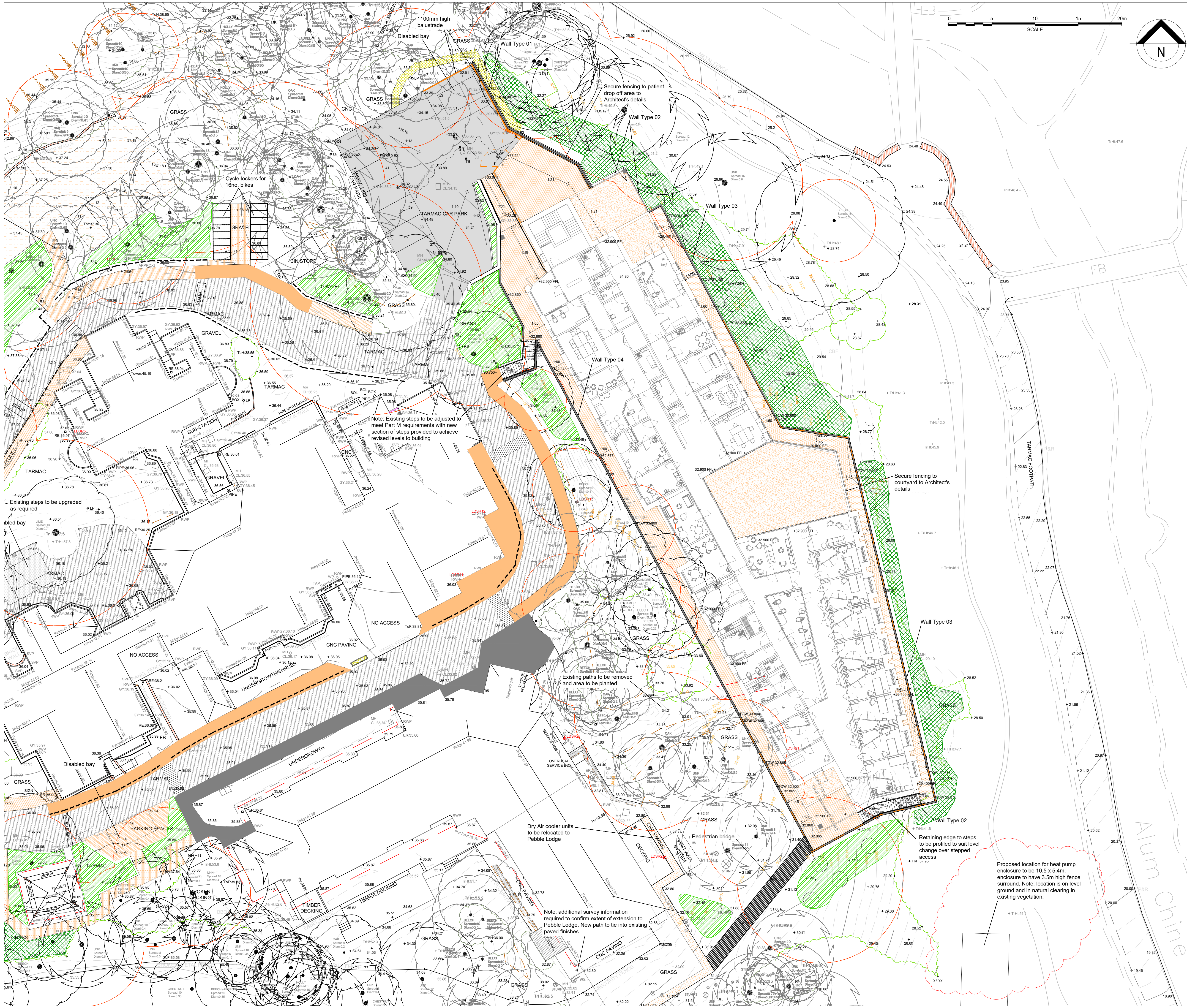
CLIENT
DHUFT

PROJECT
CAMHS PICU Seastone

DRAWING TITLE
Planning - Fire Strategy Site Plan

PROJECT NUMBER 964	SCALE @ A1 1:500	SUITABILITY S4	REVISION DATE 16.12.22
DRAWING NUMBER CAMU-MAA-ZZ-XX-PL-A-0009			REVISION P5





NOTE: This drawing is the copyright of UBU Design LTD, all rights reserved.
 Do not scale from this drawing, except for planning purposes only. All dimensions/levels to be checked. UBU Design LTD accept no liability for any expense loss or damage of whatsoever nature and however arising from any variation made to this drawing or in the execution of the work to which it relates which has not been referred to them and their prior approval obtained.

LEGEND

- Existing trees and vegetation to be retained, refer also to arborist report and information for extent of protective fencing
- Extent of tree Root Protection Zone, as defined in the AIA, reference to be made to this document for works in relation to existing trees
- Existing bitmac surfacing to vehicle areas to be retained
- Existing bitmac surfacing to pedestrian areas be retained
- Proposed block paving to car park running aisles, Marshalls keyblock or equivalent 200 x 100mm paving, colour: Burnt Ochre
- Car park to be resurfaced in bitmac, refer to engineer's details
- Cellular gravel containment paving, such as Terram Bodpave 85, or equivalent. Backfilled with gravel, parking bays to be identified using proprietary bay dividers
- Surestep or equivalent resin bound gravel surface to courtyard. Colour: Butterscotch.
- Tobermore Hydropave Fusion permeable concrete block paving 200x100x60mm depth, or equivalent. Colour: Silver and Midgrey. Laid in stretcher bond. Note: No-dig construction as required below trees to be retained
- Surface overlay material to existing bitmac surfacing with markings to denote pedestrian route
- Stabilised plastic grid system, such as Bodpave, backfilled with topsoil and seed to form maintenance access path. Exact alignment to be agreed on site to avoid existing trees
- Flush kerb laid as paving trim to courtyard space
- Wall Type 01 - Masonry retaining wall to engineer's details
- Wall Type 02 - Reinforced concrete retaining wall to engineer's details
- Wall Type 03 - Gabion basket with stone fill retaining wall to engineer's/specialist supplier's details
- Wall Type 04 - Concrete crib retaining wall to engineer's/specialist supplier's details
- Pedestrian bridge to form level access to Pebble Lodge, bridge to be constructed from recycled plastic or equivalent with non-slip decking and handrails. Bridge to have low level lighting 1.2m height timber post and rail fence to provide barrier to adjacent slope
- Stepped access to be formed in pre-cast concrete step units with contrasting nosing strips, stepped access to have handrails and hazard warning paving to top and bottom of flights
- Galvanised steel handrails with powder coated finish to Part M requirements
- Electric vehicle charging point, refer to M&E Engineer's drawings and information for details
- Telescopic bollard - Mild steel bollard with powder coated finish, with in-ground socket
- Proposed planting - refer to planting plan for details and species
- Proposed tree - refer to planting plan for details and species
- Proposed hedge planting - refer to planting plan for details and species
- Proposed native species thickset planting - refer to planting plan for details and species

PG	1601123	Fence enclosure note to ADP amended	DA
PG	1601122	As source text parking locations amended, parking layout updated to show PTVK parking, sub-station access added	DA
PG	1601022	Tree positions updated to suit proposed below ground storage tanks	DA
PG	1601022	Additional fence planting added adjacent to drive	DA
PG	1601022	Wall types updated	DA
PG	1601022	Level updated to suit comments received	DA
PG	1601022	Level updated to suit revised building	DA
PG	1601022	Line notes	DA
REV	DATE	COMMENTS	DA

ubu design

UBU Design LTD
 7a Wintex House, Easton Lane
 Business Park, Easton Lane,
 Winchester, Hants. SO23 7RQ
 +44 (0) 1962 856 008
 studio@ubu-design.co.uk
 www.ubu-design.co.uk

PROJECT: SEASTONE

TITLE: LANDSCAPE GA LAYOUT

CLIENT: KIER

SCALE: 1:200@A1 **DATE:** 17/01/2022

JOB NO: 1833 **DWG NO:** CAMU-UBU-XX-XX-DR-L-1000

STATUS: S1 **REV:** Pg



NOTE: This drawing is the copyright of UBU Design LTD, all rights reserved.
Do not scale from this drawing, except for planning purposes only. All dimensions/levels to be checked. UBU Design LTD accept no liability for any expense loss or damage of whatsoever nature and however arising from any variation made to this drawing or in the execution of the work to which it relates which has not been referred to them and their prior approval obtained.

LEGEND

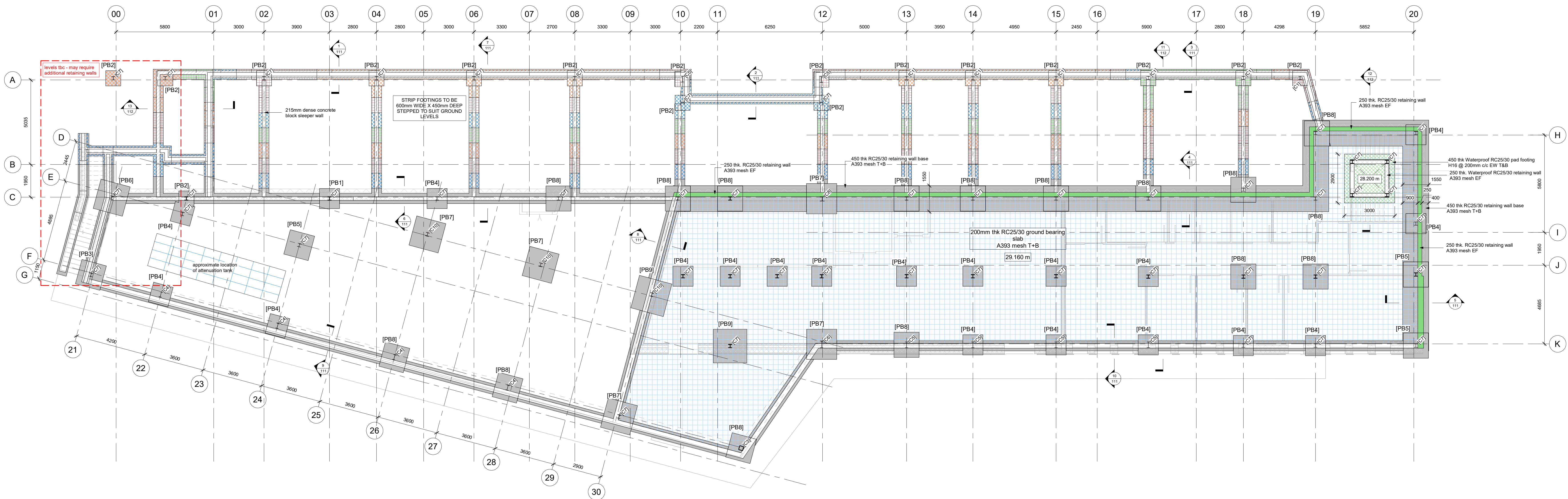
- Existing trees and vegetation to be retained, refer also to arborist report and information for extent of protective fencing
- Extent of tree Root Protection Zone, as defined in the AIA, reference to be made to this document for works in relation to existing trees
- Existing bitmac surfacing to vehicle areas to be retained
- Existing bitmac surfacing to pedestrian areas be retained
- Proposed block paving to car park running aisles, Marshalls keyblock or equivalent 200 x 100mm paving, colour: Burnt Ochre
- Car park to be resurfaced in bitmac, refer to engineer's details
- Cellular gravel containment paving, such as Terram Bodgepave 85, or equivalent. Backfilled with gravel, parking bays to be identified using proprietary bay dividers
- Sureset or equivalent resin bound gravel surface to courtyard. Colour: Butterscotch.
- Tobermore Hydropave Fusion permeable concrete block paving 200x100x60mm depth, or equivalent. Colour: Silver and Midgrey. Laid in stretcher bond. Note: No-dig construction as required below trees to be retained
- Surface overlay material to existing bitmac surfacing with markings to denote pedestrian route
- Stabilised plastic grid system, such as Bodgepave, backfilled with topsoil and seed to form maintenance access path. Exact alignment to be agreed on site to avoid existing trees
- Flush kerb laid as paving trim to courtyard space
- Wall Type 01 - Masonry retaining wall to engineer's details
- Wall Type 02 - Reinforced concrete retaining wall to engineer's details
- Wall Type 03 - Gabion basket with stone fill retaining wall to engineer's/specialist supplier's details
- Wall Type 04 - Concrete crib retaining wall to engineer's/specialist supplier's details
- Pedestrian bridge to form level access to Pebble Lodge, bridge to be constructed from recycled plastic or equivalent with non-slip decking and handrails. Bridge to have low level lighting
- 1.2m height timber post and rail fence to provide barrier to adjacent slope
- Stepped access to be formed in pre-cast concrete step units with contrasting nosing strips, stepped access to have handrails and hazard warning paving to top and bottom of flights
- Galvanised steel handrails with powder coated finish to Part M requirements
- Electric vehicle charging point, refer to M&E Engineer's drawings and information for details
- Telescopic bollard - Mild steel bollard with powder coated finish, with in-ground socket
- Proposed planting - refer to planting plan for details and species
- Proposed tree - refer to planting plan for details and species
- Proposed hedge planting - refer to planting plan for details and species
- Proposed native species thicket planting - refer to planting plan for details and species

REV	DATE	COMMENTS	BY	CHK	APP
P1	18/01/23	FINI ISSUE			

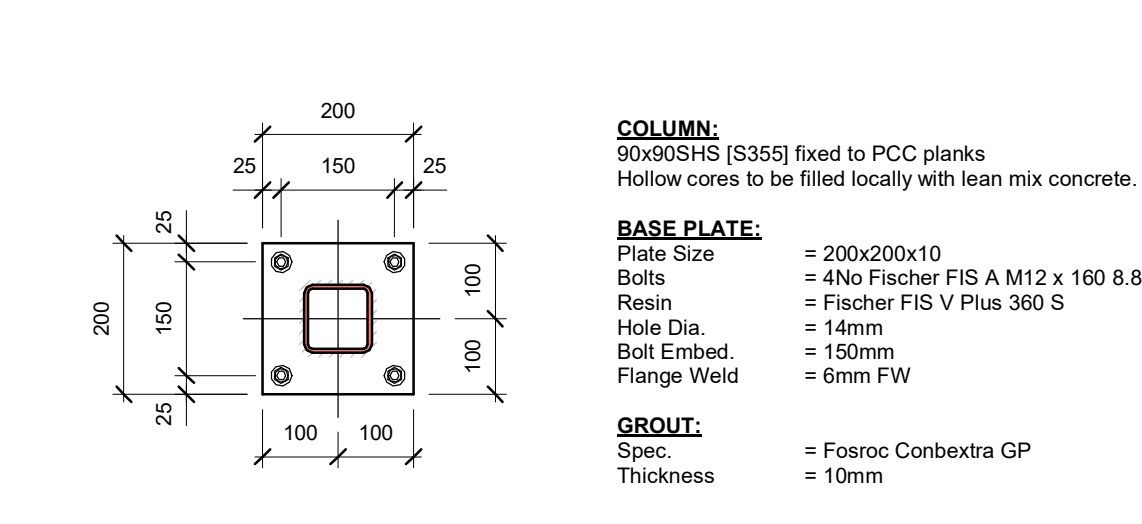
ubu
design

UBU Design LTD
7a Wintex House, Easton Lane
Business Park, Easton Lane,
Winchester, Hants. SO23 7RQ
+44 (0) 1962 856 008
studio@ubu-design.co.uk
www.ubu-design.co.uk

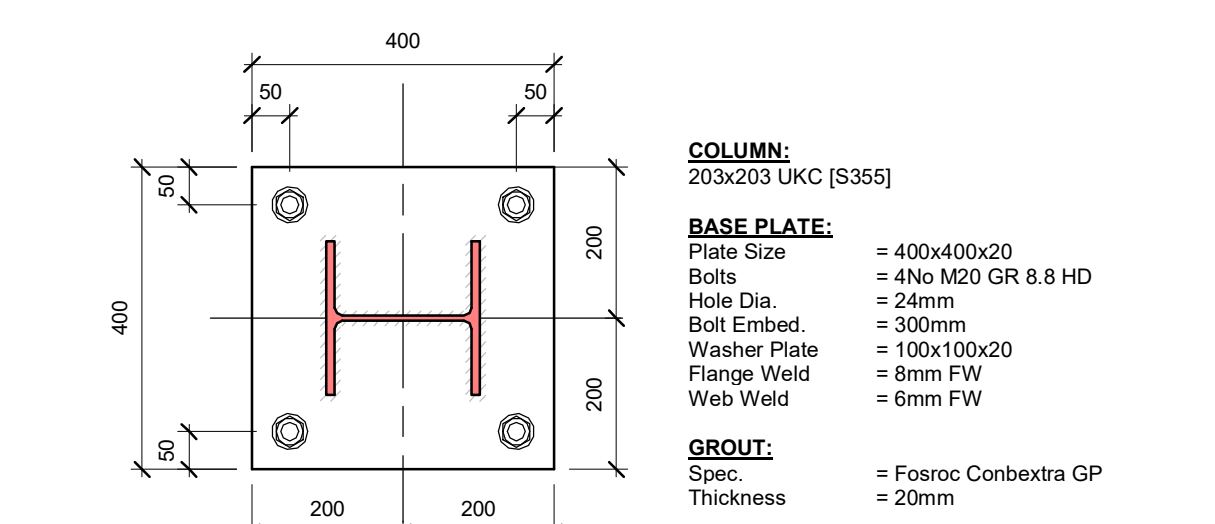
PROJECT:	SEASTONE		
TITLE:	LANDSCAPE GA LAYOUT - SHEET 2		
CLIENT:	KIER		
SCALE:	1:200@A1	DATE:	05/12/2022
JOB NO:	1833	DWG NO:	CAMU-UBU-XX-XX-DR-L-1006
STATUS:	S1	REV:	P1



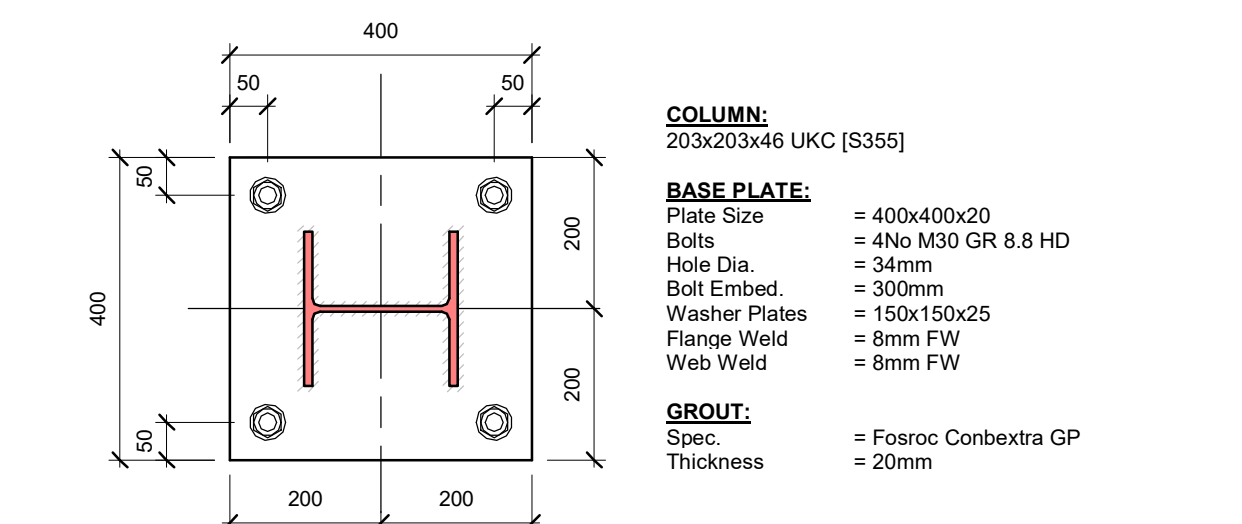
1 Foundation Layout
1:100



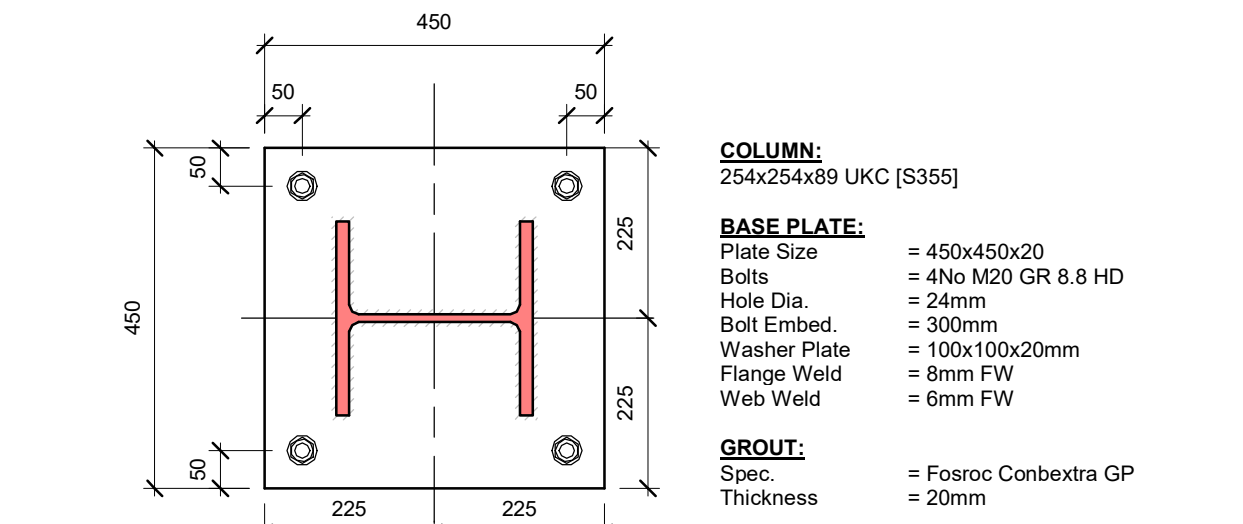
2 90x90SHS Base Detail on PCC Planks
1:10



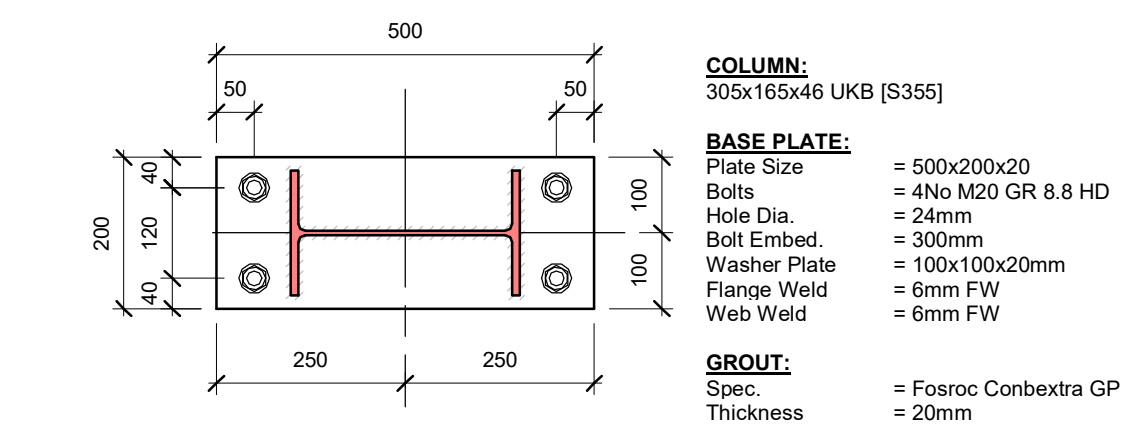
3 203x203UKC Typical Base Detail
1:10



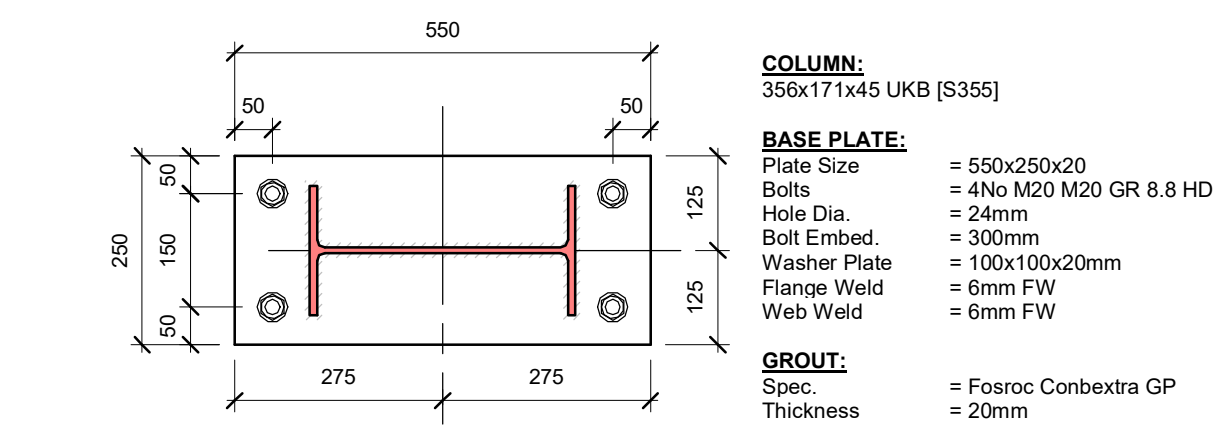
4 203x46UKC Grid K/20 Base Detail
1:10



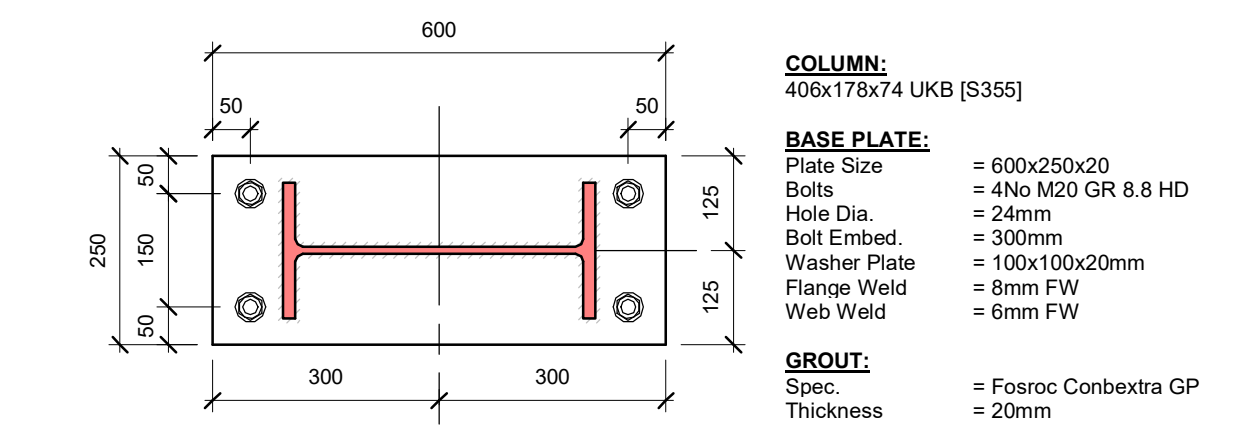
5 254x89UKC Typical Base Detail
1:10



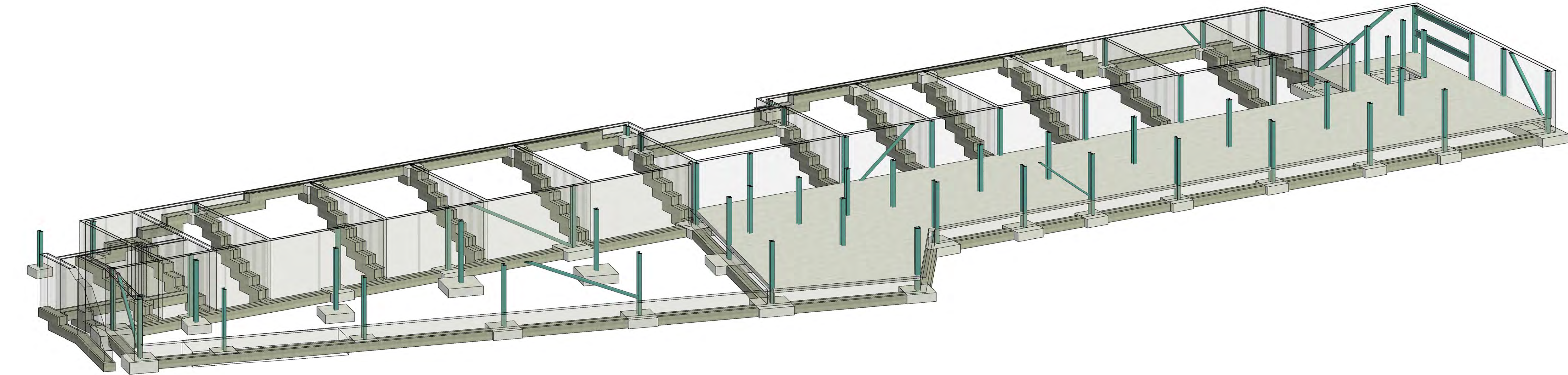
6 305x165x46UKB Typical Base Detail
1:10



7 356x171x45UKB Typical Base Detail
1:10



8 405x178x74UKB Typical Base Detail
1:10



9 3D Foundations and Lower Ground Floor Structure
1:10

GENERAL NOTES:

- This drawing is to be read in conjunction with all relevant Architect's, Engineer's and specialist Sub-contractor's drawings and specifications.
- All setting out to be in accordance with the Architects drawings, any discrepancies between the Engineers and Architects drawings to be referred to the Architect before proceeding. Dimensions must not be scaled.
- All dimensions are in millimetres; levels are in metres A.O.D. (Above Ordnance Datum).

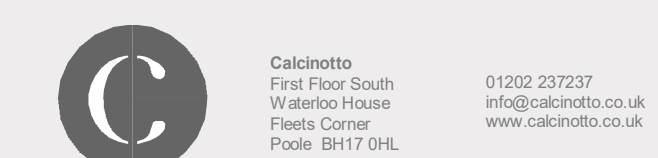
Pad Base Schedule		
Type	Description	Reinforcement
PB1	1200x1200x450mm blk C25/30 pad footing	H16 @ 200mm c/c EW T&B
PB2	900x900x450mm blk C25/30 pad footing	H16 @ 200mm c/c EW T+ B
PB3	1500x1500x450mm blk C25/30 pad footing	H16 @ 200mm c/c EW T+ B
PB4	pad footing	H16 @ 200mm c/c EW B
PB5	1500x1500x450mm blk C25/30 pad footing	H16 @ 200mm c/c EW T+ B
PB6	1800x1800x750mm blk C25/30 pad footing	H20 @ 200mm c/c EW T+ B
PB7	1800x1800x450mm blk C25/30 pad footing	H16 @ 200mm c/c EW B
PB8	1500x1500x450mm blk C25/30 pad footing	H16 @ 200mm c/c EW B
PB9	2000x2000x450mm blk C25/30 pad footing	H16 @ 200mm c/c EW B

Structural Column Schedule	
Type Mark	Type
C1	UKC203x203x32
C2	SHS100x100x6.3
C3	SHS200x200x10.0
C4	UKB305x165x46
C5	UKB356x171x45
C6	UKB405x178x74
C7	UKC203x203x46
C8	UKC254x254x46.9
C9	SHS305x305x6.3
C10	UKC203x203x71

FOUNDATION LEVEL KEY	
Top of Foundation levels indicated thus:	
	T&F: 28.200m
	T&F: 28.400m
	T&F: 28.850m
	T&F: 29.300m
	T&F: 29.750m
	T&F: 30.200m
	T&F: 30.650m
	T&F: 31.100m
	T&F: 31.550m

THE INFORMATION SHOWN ON THIS DRAWING IS SUBJECT TO A DETAILED DESIGN REVIEW AND CO-ORDINATION WITH THE DESIGN TEAM PRIOR TO CONSTRUCTION. THIS MAY RESULT IN VARIOUS CHANGES OR ADDITIONS, THEREFORE A COST CONTINGENCY SHOULD BE ALLOWED FOR.

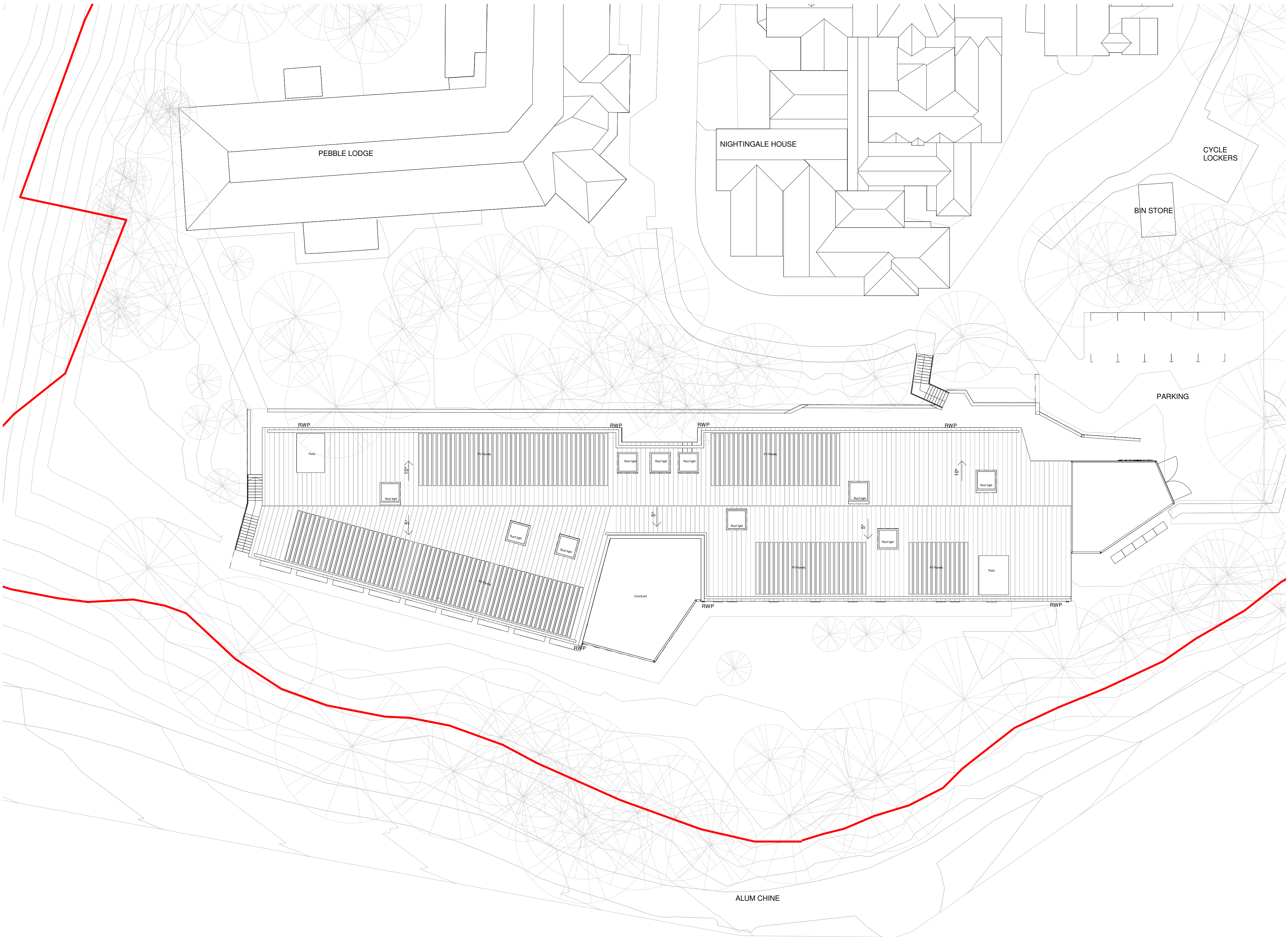
PA	13/03/23	RBA stage 4a issue
PI	14/03/23	RBA stage 4a issue
PI	24/03/23	Revised to new brand
PI	11/03/23	RBA stage 4a issue
Rev	Date	Description



Client
DHC
Project Title
Seastone
Drawing Title
Foundation and Lower Ground Floor Plan

Drawing Status			
S3 SUITABLE FOR REVIEW & COMMENT			
Originator No	Rev by	Chk by	Scale @ A3
114206	AW	AJW	1:100

PROJECT / ORGANISATION / ZONE / LEVEL / TYPE / TITLE / NO. Revision
CAMU-CAL-ZZ-ZZ-DR-S-101 P4

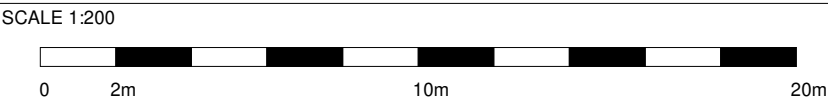


KEY:

PROJECT BOUNDARY & PROPOSED DEVELOPMENT

NOTE:

ON THE PROPOSED PLANS TREES ARE SHOWN INDICATIVELY. REFER TO HELLIS TREE REPORT AND LANDSCAPE ARCHITECTS DRAWINGS



4 Northington Street
London, W61N 2JG
+44 (0)207 450 1904
www.medicalarchitecture.com
London@medicalarchitecture.com

Medical
Architecture

CLIENT
DHUFT

PROJECT
CAMHS_PICU

DRAWING TITLE
Planning - General Arrangement Plan - Roof Plan

PROJECT NUMBER 964	SCALE @ A1 1:200	SUITABILITY S4	REVISION DATE 12.09.22
DRAWING NUMBER CAMU-MAA-ZZ-XX-PL-A-0013	REVISION P2		

Copyright. All rights reserved
This work is copyright and cannot be produced or copied in any form or by any means (graphic, electronic or mechanical including photocopying) without written permission of the originator. Any license, express or implied, to use this document for any purpose whatsoever is restricted to the terms of the agreement or implied agreement between the originator and the instructing party.

DO NOT SCALE FROM THIS DRAWING. WORK ONLY FROM FIGURED DIMENSIONS.
THIS DRAWING TO BE READ IN CONJUNCTION WITH RELEVANT CONSULTANTS DRAWINGS.

REVISION	DATE	DESCRIPTION	DRAWN	CHK/AP
P1	12.08.22	For Client Information & Comment	AC	YO/BW
P2	12.09.22	For Planning	AG	YO/BW



NOTE:

FOR PV's PLEASE REFER TO ROOF PLAN
CAMU-MAA-ZZ-XX-PL-A-0013

4 Northington Street
London, WC1N 2JG
+44 (0)207 490 1904
www.medicalarchitecture.com
London@medicalarchitecture.com

Medical
Architecture

CLIENT
DHUFT

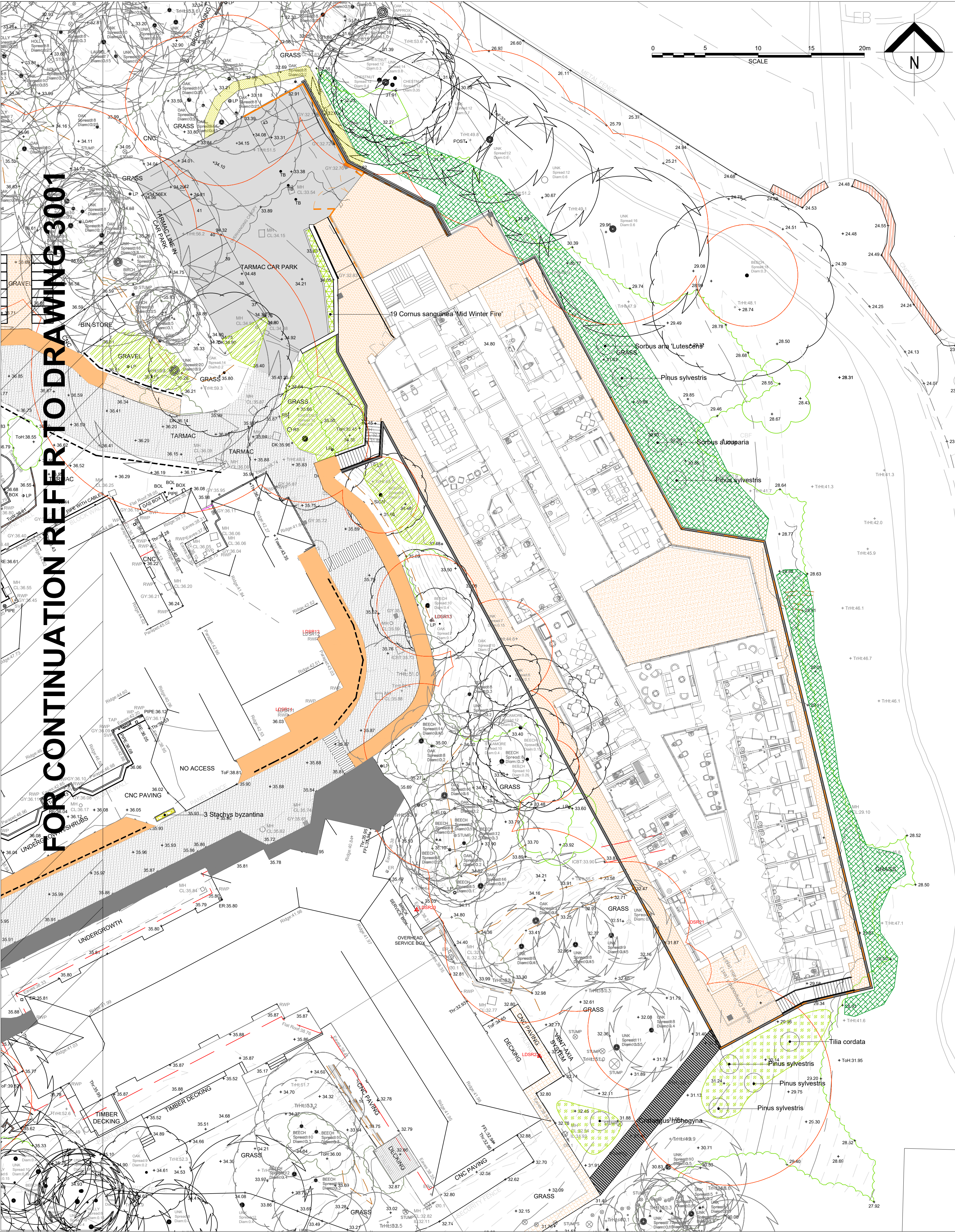
PROJECT
CAMHS_PICU

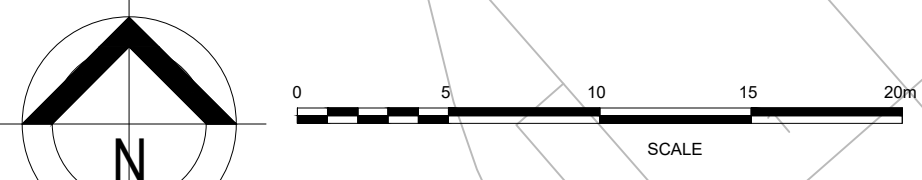
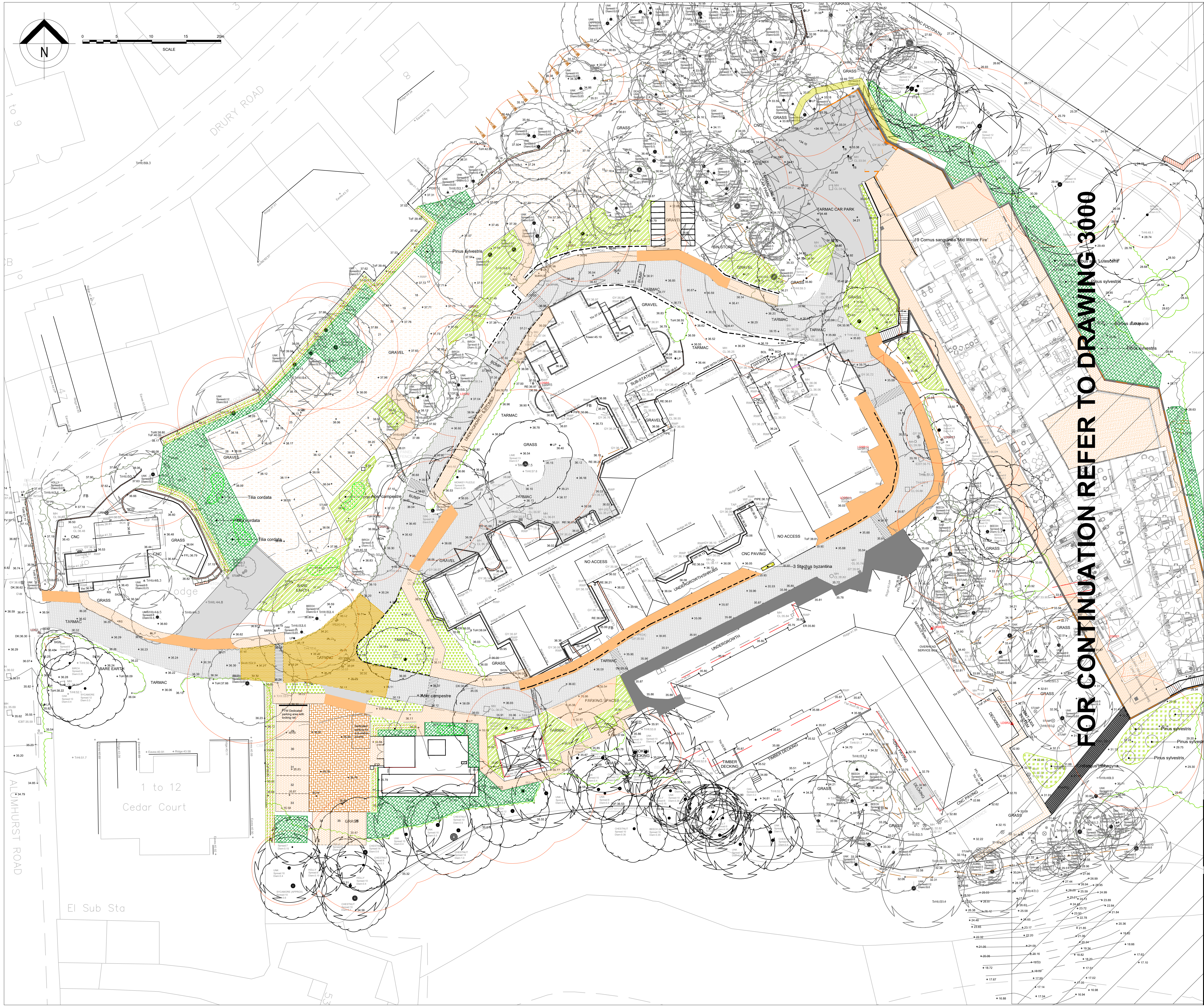
DRAWING TITLE
Planning - Aerial Perspective

PROJECT NUMBER	SCALE @ A3	SUITABILITY	REVISION DATE
964	n/a	S4	12.09.22

DRAWING NUMBER	REVISION
CAMU-MAA-ZZ-XX-PL-A-0016	P2

Stock	Quantity	Item	Size	Height (cm)	Notes	Density
Trees						
2	Acer campestre	14-16 Girth	425-600	5 breaks 3x standard (extra-heavy) clear stem	175-200 RB	Counted
1	Crataegus monogyna	14-16 Girth	425-600	5 breaks 3x standard (extra-heavy) clear stem	175-200 RB	Counted
6	Pinus sylvestris	14-16 Girth	425-600	5 breaks 3x standard (extra-heavy) clear stem	175-200 RB	Counted
1	Sorbus aria 'Lutescens'	14-16 Girth	425-600	5 breaks 3x standard (extra-heavy) clear stem	175-200 RB	Counted
1	Sorbus aucuparia	14-16 Girth	425-600	5 breaks 3x standard (extra-heavy) clear stem	175-200 RB	Counted
4	Tilia cordata	14-16 Girth	425-600	5 breaks 3x standard (extra-heavy) clear stem	175-200 RB	Counted
15						
Native Hedge Planting						
Native Hedge Mx 450mm centres, 2 staggered rows- Random Mx - 565 plants		% mix				
56	Acer campestre	10%	80-100cm	Transplant (seed-raised), 1+1	B	450cts
56	Carpinus betulus	10%	80-100cm	Transplant (seed-raised), 1+1	B	450cts
29	Comus Sanguinea	5%	60-80cm	Branched 3, breaks 1+2	B	450cts
86	Corylus avellana	15%	60-80cm	Branched 3, breaks 1+2	B	450cts
56	Crataegus monogyna	10%	80-100cm	Transplant (seed-raised), 1+1	B	450cts
56	Euonymus europaeus	10%	80-80cm	Branched 3, breaks 1+2	B	450cts
56	Ilex aquilum	10%	60-80cm	3L, Leader with lateral	C	450cts
56	Prunus spinosa	10%	80-100cm	Transplant (seed-raised), 1+1	B	450cts
29	Rosa Canina	5%	60-80cm	Branched 3, breaks 1+1	B	450cts
56	Sambucus nigra	10%	80-100cm	Branched 3, breaks 1+1	B	450cts
29	Viburnum opulus	5%	60-80cm	Branched 3, breaks 1+2	B	450cts
565						
Native Thicket Planting						
Native thicket planting - random mix 1 per m2 - total area 737m2		% mix				
74	Acer campestre	10%	80-100cm	Transplant (seed-raised), 1+1	B	1m2
74	Comus Sanguinea	10%	60-80cm	Branched 3, breaks 1+2	B	1m2
74	Viburnum opulus	10%	60-80cm	Branched 3, breaks 1+2	B	1m2
74	Rosa rugiflora	10%	60-80cm	Branched 3, breaks 1+1	B	1m2
146	Ilex aquilum	20%	60-80cm	3L, Leader with lateral	C	1m2
74	Corylus avellana	10%	60-80cm	Branched 3, breaks 1+2	B	1m2
74	Euonymus europaeus	10%	60-80cm	Transplant (seed-raised), 1+1	B	1m2
74	Sambucus nigra	10%	80-100cm	Transplant (seed-raised), 1+1	B	1m2
74	Crataegus monogyna	10%	80-100cm	Transplant (seed-raised), 1+1	B	1m2
738						
Planting Mix 1 - meadow and sunny						
Random mix 3 per m2 - total area 72.3m2 = 217 plants		% mix				
43	Calluna vulgaris	20%	20-30	Several shoots, min. 3 breaks	C	3m2
43	Erica cinerea	20%	20-30	Several shoots, min. 3 breaks	C	3m2
22	Polypodium vulgare	10%	20-30	Several shoots, min. 3 breaks	C	3m2
22	Ruscus aculeatus	10%	20-30	Several shoots, min. 3 breaks	C	3m2
34	Ulex europaeus	15%	20-30	Bushy, min. 3 breaks	C	3m2
53	Vaccinium myrtillus	25%	20-30	Several shoots, min. 3 breaks	C	3m2
217						
Planting Mix 2 - low and sunny						
Random mix 3 per m2 - total area 125.4m2 = 377 plants		% mix				
76	Calluna vulgaris	20%	20-30	Several shoots, min. 3 breaks	C	3m2
76	Erica cinerea	20%	20-30	Several shoots, min. 3 breaks	C	3m2
75	Polypodium vulgare	20%	20-30	Several shoots, min. 3 breaks	C	3m2
75	Ruscus aculeatus	20%	20-30	Several shoots, min. 3 breaks	C	3m2
75	Vaccinium myrtillus	20%	20-30	Several shoots, min. 3 breaks	C	3m2
377						
Planting Mix 3 - medium and shady						
Random mix 3 per m2 - total area 384.3m2 - 1153 plants		% mix				
115	Comus sanguinea 'Mid Winter Fire'	10%	20-30	Bushy, min. 4 breaks	C	3m2
115	Chaenomeles x superba	10%	20-30	Bushy, min. 2 breaks	C	3m2
231	Dryopteris filix mas	20%	20-30		C	3m2
231	Frangula alnus	20%	20-30		C	3m2
115	Mahonia x media	10%	20-30	Leader(s)	C	3m2
115	Ruscus aculeatus	10%	20-30	Several shoots, min. 3 breaks	C	3m2
231	Viburnum opulus 'Compactum'	20%	20-30	Branched, min 3 breaks	C	3m2
1153						
Shrubs						
19	Comus sanguinea 'Mid Winter Fire'	3L	20-30	Bushy, min. 4 breaks	C	3m2
Herbaceous						
3	Stachys byzantina	3L			C	3m2
Bulbs						
Planted in drifts - minimum 15 - total area 34m2 - 15 bulbs per m2 - total 510 bulbs						
510	Narcissus pseudonarcissus					15m2
General landscaping						
Existing levels to be preserved around retained existing trees and vegetation. Existing trees and vegetation to be retained are to be protected in accordance with BS5837 during construction. All landscape works to be undertaken by competent persons, with appropriate training and equipment.						
Services						
The contractor must ascertain for themselves the exact location of underground services before commencing work.						
Topsoil						
Topsoil to be handled (i.e. excavated and/or imported, stored, spread, cultivated) in accordance with method agreed in writing by Landscape Architect prior to work commencing. Amelioration to be as determined by analysis. If poor drainage is suspected in existing soil surfaces, these should be broken up prior to planting, turning and seeding to a depth of 300mm to remove likelihood of compaction and damage to new plants) and turf. Where topsoil is to be imported, soil medium parameters to be within the following:						
Soil texture: sand 20-75% silt 5-60% clay 5-30%						
Maximum stone size in any direction: 50mm						
pH: 5.5 - 7.8						
Electrical conductivity: 100-900 uS / cm						
Organic matter: > 4%						
Nitrogen: > 0.2%						
Phosphorus: > 26 mg/l						
Potassium: > 240 mg/l						
Magnesium: > 50 mg/l						
Imported topsoil to be a good quality loam to BS 3882 or manufactured topsoil. All topsoil areas shall be thoroughly cultivated by hand or suitable machinery to the full depth of the topsoil layer. Incorporating ameliorants as specified and/or as indicated by analysis and in accordance with BS 3882. Hand cultivations shall be carried out to achieve the required finish on areas where machine cultivation is impossible is adjacent to kerbs, manholes and footpath junctions etc. Surplus plant matter, rubbish and surface stones having any dimension greater than 25 mm shall be collected and removed from the site. Existing topsoil to be stripped and re-used if suitable as per specification. Topsoil is to be stored in heaps, maximum of 4m in height, providing soil is reasonably dry and friable during stripping and handling - using a tracked excavator. To protect from wet weather once final height is achieved, an excavator should rake the sides and top of stockpile to a firm surface.						
Fertilizer/Compost						
Approved (peat free) composts to PAS100 and fertilizers to be added during cultivation as required to full depth of growing medium.						
Plant Handling						
Plant handling at the nursery, and during transit up to delivery, shall be in accordance with 'Plant Handling', the booklet published by the Committee for Plant Supply and Establishment (CPSE). The contractor shall comply with clauses 3 & 4 of the above booklet (obtained from the Horticulture Trades Association, 19 High Street, Theale, Reading, Berks RG7 5H) which refers to the receipt, unloading and temporary storage of plants. General plant stock to conform to BS 3936, advanced nursery stock to BS 5236, BS 5545, and planting to BS 5428. Plants shall be first class examples of their species or variety, free from all pests and diseases, with good fibrous root systems and materially undamaged (refer to relevant sections of BS3936 Parts 1-4 'Specification of Nursery Stock'). All planting operations to be in general compliance with BS5428:1989 'Code of Practice for general landscape operations (excluding hard surfaces)'. Carry out all planting while soil and weather conditions are suitable.						
• Do not plant during periods of frost or strong winds. Plant only during the following periods						
• Deciduous and conifer trees: Late October to late March						
• Container grown plants: At any time if ground and weather conditions are favourable. Ensure that adequate watering and weed control is provided						
• Bulbs: September/October						
Setting-out of planting beds to be approved by Landscape Architect before work commences. Ensure that plant beds are neatly defined, and rise from adjacent paved areas. All ornamental plantings areas to be mulched with 75mm (settled depth) bark mulch. Sample of mulch to be approved by Landscape Architect. Topsoil depth to be 300mm for planting and 150mm for grass.						
Trees						
Trees shown on plan to be planted with species as labelled or similar approved. All trees to be planted in pits 1m x 1m x 0.5m deep backfilled with 500mm depth 80% clean topsoil and 20% approved green compost to PAS100 and 100 gms granular fertilizer, over 400mm washed medium coarse grade sand bed to base of pit. Water-in heavily after planting and surface mulched 75mm depth. Unless noted above as requiring underground geying, all trees to be double staked and tied and multi stems diagonal single stake. Sample of staking for each species to be approved. Tree stakes to be stained black. Any necessary tree works are to be carried out by an approved tree surgeon to BS 3998. Trees planted in grass lawns to be set in bare earth circles, 1m diameter around tree trunk, with turf trimmed neatly to form circle, and earth mulched with approved bark mulch to 75mm depth after planting.						





NOTE: This drawing is the copyright of UBU Design LTD, all rights reserved.

Do not scale from this drawing, except for planning purposes only. All dimensions/levels to be checked. UBU Design LTD accept no liability for any expense loss or damage of whatsoever nature and however arising from any variation made to this drawing or in the execution of the work to which it relates which has not been referred to them and their prior approval obtained.

LEGEND

- Existing trees and vegetation to be retained, refer also to arborist report and information for extent of protective fencing
- Extent of tree Root Protection Zone, as defined in the AIA, reference to be made to this document for works in relation to existing trees
- Proposed tree, refer to schedule for details
- Proposed Hedge - Mixed native species, refer to schedule for details
- Proposed Native Thicket planting, refer to schedule for details
- Proposed Planting Mix 1 - Med/Low sunny, refer to schedule for details
- Proposed Planting Mix 2 - Low sunny, refer to schedule for details
- Proposed Planting Mix 3 - Medium shady, refer to schedule for details
- Proposed planting bed, refer to schedule for details
- Bulb planting, refer to schedule for details

PS	10/12/22	Tree species updated to be larger following comments from planners, schedule updated	MLA	RA
PS	10/05/22	Planting brand updated	RA	RA
PS	10/05/22	Planting brand updated	RA	RA
REV	DATE	COMMENTS	DRN	APP

UBU Design LTD
7a Wintex House, Easton Lane
Business Park, Easton Lane,
Winchester, Hants. SO23 7RQ
+44 (0) 1962 856 008
studio@ubu-design.co.uk
www.ubu-design.co.uk

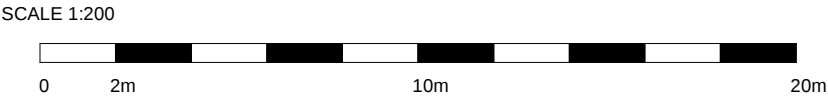
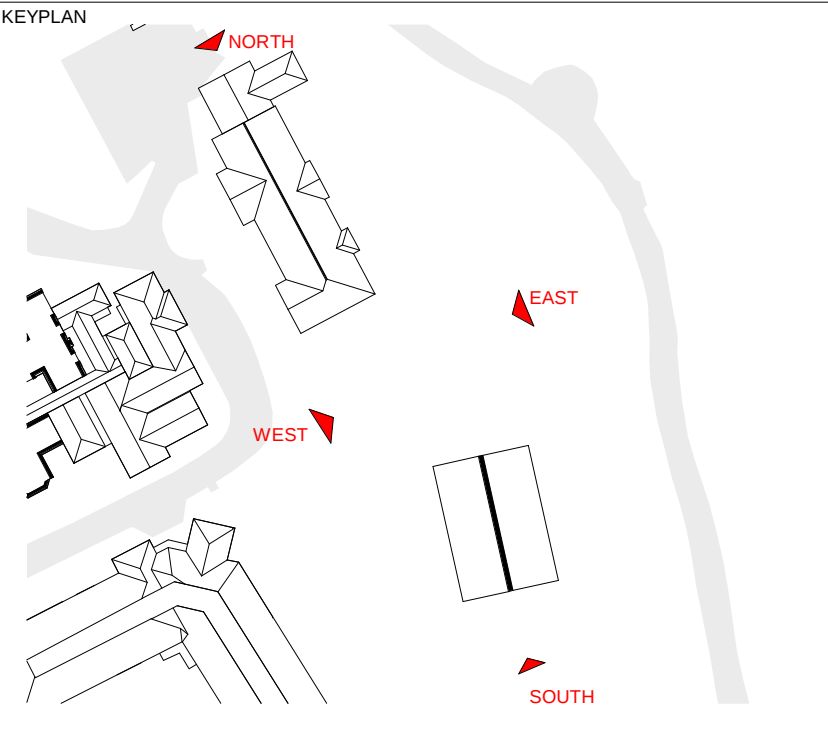
PROJECT: CAMHS - PICU	
TITLE: PLANTING PLAN - 2 OF 2	
CLIENT: KIER	
SCALE: 1:250@A1	DATE: 18/08/2022
JOB NO: 1833	DWG NO: CAMU-UBU-XX-XX-DR-L-3001
STATUS: S1	REV: P3



Existing Elevation - East
1 : 200



Existing Elevation - West
1 : 200



4 Northington Street
London, WC1N 2JG
+44 (0)207 450 1904
www.medicalarchitecture.com
London@medicalarchitecture.com

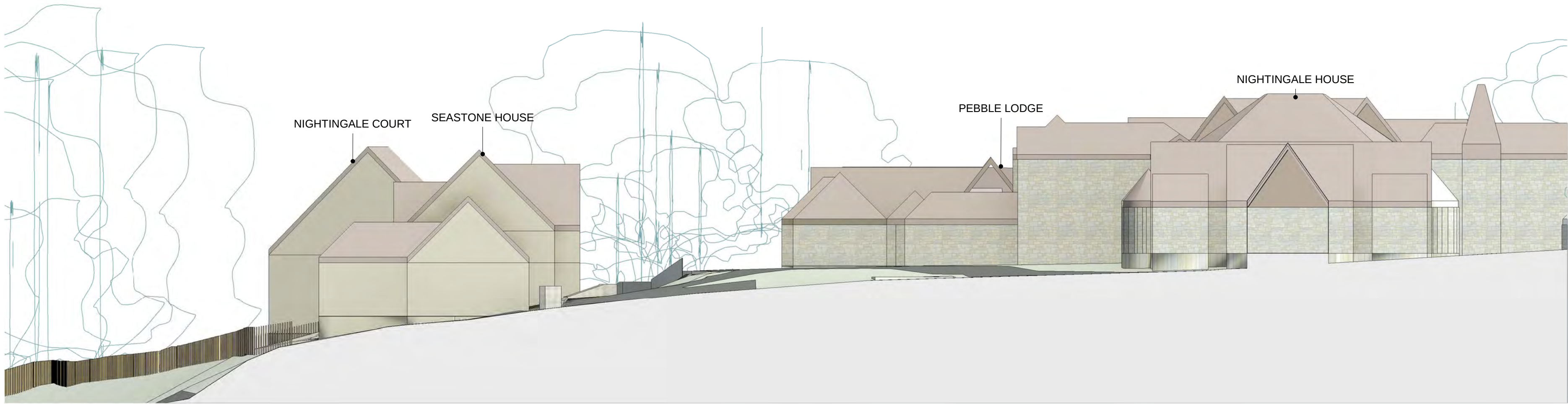
Medical Architecture

CLIENT
DHUFT

PROJECT
CAMHS_PICU

DRAWING TITLE
Planning - Existing Elevations 1

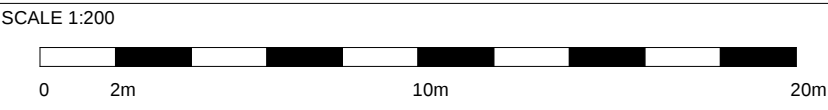
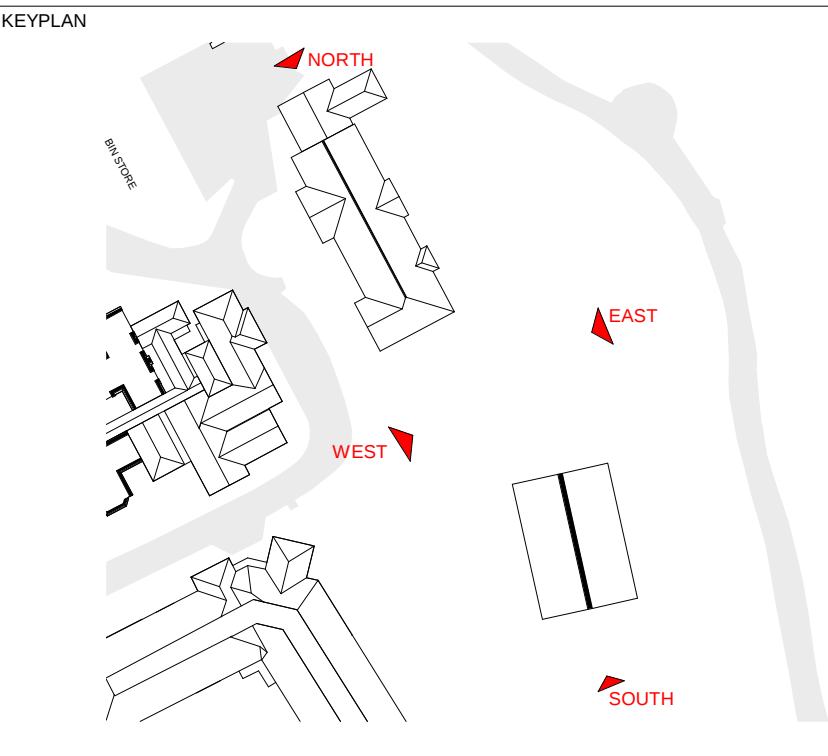
PROJECT NUMBER 964	SCALE @ A1 1:200	SUITABILITY S4	REVISION DATE 12.09.22
DRAWING NUMBER CAMU-MAA-ZZ-XX-PL-A-0004			REVISION P2



Existing Elevation - North
1 : 200



Existing Elevation - South
1 : 200



4 Northington Street
London, WC1N 2JG
+44 (0)207 450 1904
www.medicalarchitecture.com
London@medicalarchitecture.com

Medical Architecture

CLIENT
DHUFT

PROJECT
CAMHS_PICU

DRAWING TITLE
Planning - Existing Elevations 2

PROJECT NUMBER 964	SCALE @ A1 1:200	SUITABILITY S4	REVISION DATE 12.09.22
-----------------------	---------------------	-------------------	---------------------------

DRAWING NUMBER CAMU-MAA-ZZ-XX-PL-A-0005	REVISION P2
--	----------------

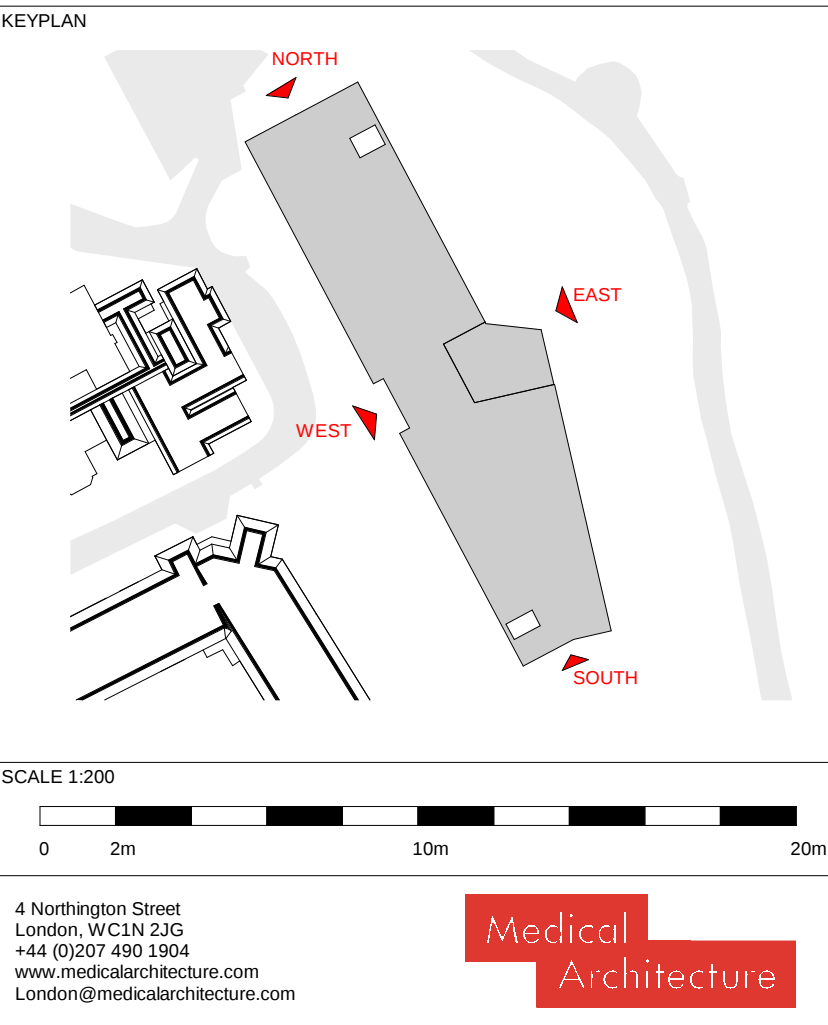


Proposed Elevation - East
1 : 200

NOTE:
REFER TO EXTERNAL FINISHES SCHEDULE FOR FURTHER
DETAIL ON PROPOSED FINISHES



Proposed Elevation - West
1 : 200

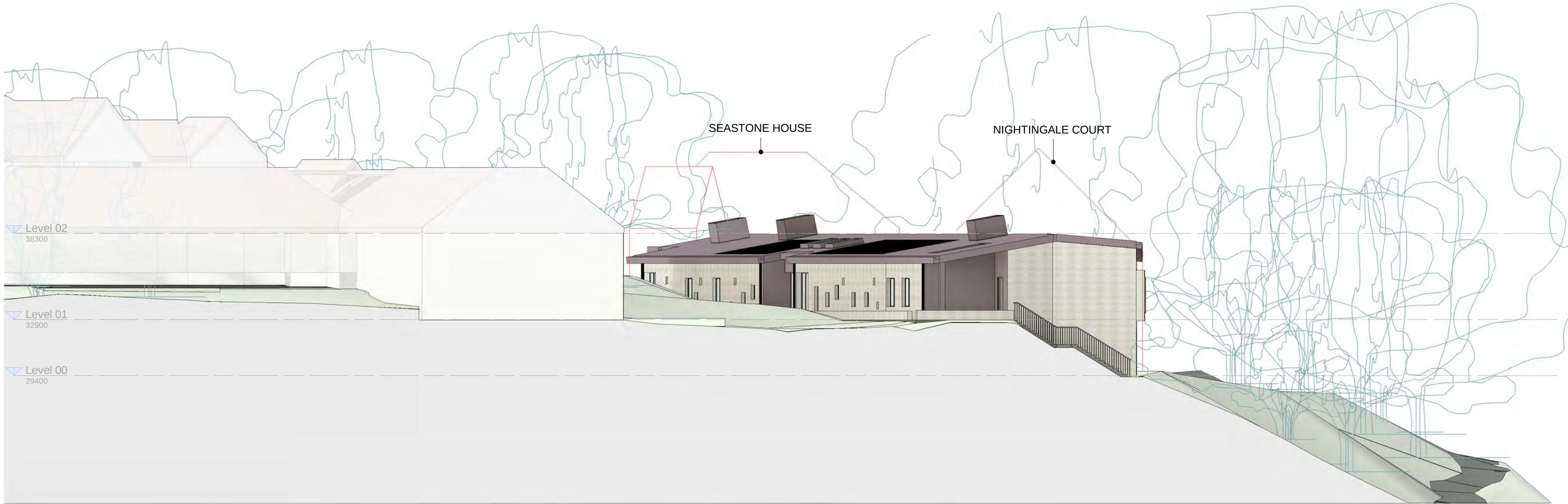


CLIENT DHUFT			
PROJECT CAMHS PICU Seastone			
DRAWING TITLE Planning - General Arrangement - Proposed Elevations 1			
PROJECT NUMBER 964	SCALE @ A1 1:100	SUITABILITY S4	REVISION DATE 15.12.22
DRAWING NUMBER CAMU-MAA-ZZ-XX-PL-A-0014			REVISION P4

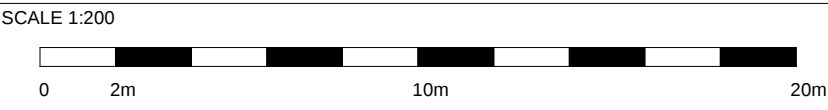
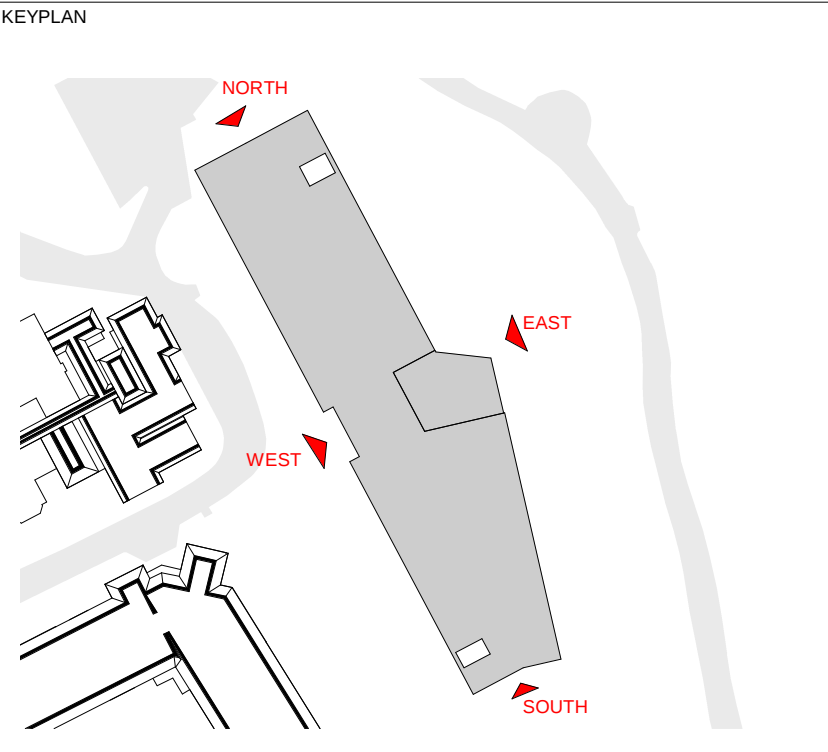


Elevation - North
1 : 200

NOTE:
REFER TO EXTERNAL FINISHES SCHEDULE FOR FURTHER
DETAIL ON PROPOSED FINISHES



Elevation South
1 : 200



4 Northington Street
London, WC1N 2JG
+44 (0)207 450 1904
www.medicalarchitecture.com
London@medicalarchitecture.com



CLIENT
DHUFT

PROJECT
CAMHS PICU Seastone

DRAWING TITLE
Planning - General Arrangement - Proposed Elevations
2

PROJECT NUMBER	SCALE @ A1	SUITABILITY	REVISION DATE
964	1:200	S4	15.12.22

DRAWING NUMBER	REVISION
CAMU-MAA-ZZ-XX-PL-A-0015	P4

Copyright. All rights reserved
This work is copyright and cannot be produced or copied in any form or by any means (graphic, electronic or mechanical including photocopying) without written permission of the originator. Any license, express or implied, to use this document for any purpose whatsoever is restricted to the terms of the agreement or implied agreement between the originator and the instructing party.

DO NOT SCALE FROM THIS DRAWING. WORK ONLY FROM FIGURED DIMENSIONS.
THIS DRAWING TO BE READ IN CONJUNCTION WITH RELEVANT CONSULTANTS DRAWINGS.

REVISION	DATE	DESCRIPTION	DRAWN	CHK/AP
P1	12.08.22	For Client Information & Comment	AC	YO/BW
P2	12.09.22	For Planning	AG	YO/BW
P3	16.09.22	For Planning	AG	YO/BW
P4	16.12.22	Issued for Planning. Visualisations Updated.	CP/AN	YO/BW



Entrance View from the Carpark



Entrance View from the Pedestrian Access

NOTE:

THE VIEWS ARE ILLUSTRATIVE TO SHOW THE BUILDING AND DO NOT REFLECT PROPOSED TREE RETENTION / PLANTING

FOR PV's PLEASE REFER TO ROOF PLAN
CAMU-MAA-ZZ-XX-PL-A-0013

4 Northington Street
London, WC1N 2JG
+44 (0)207 490 1904
www.medicalarchitecture.com
London@medicalarchitecture.com

Medical
Architecture

CLIENT
DHUFT

PROJECT
CAMHS PICU Seastone

DRAWING TITLE
Planning - External Visualisation 1

PROJECT NUMBER	SCALE @ A3	SUITABILITY	REVISION DATE
964	n/a	S4	16.12.22

DRAWING NUMBER	REVISION
CAMU-MAA-ZZ-XX-PL-A-0018	P4

Copyright. All rights reserved
This work is copyright and cannot be produced or copied in any form or by any means (graphic, electronic or mechanical including photocopying) without written permission of the originator. Any license, express or implied, to use this document for any purpose whatsoever is restricted to the terms of the agreement or implied agreement between the originator and the instructing party.

DO NOT SCALE FROM THIS DRAWING. WORK ONLY FROM FIGURED DIMENSIONS.
THIS DRAWING TO BE READ IN CONJUNCTION WITH RELEVANT CONSULTANTS DRAWINGS.

REVISION	DATE	DESCRIPTION	DRAWN	CHK/AP
P1	12.08.22	For Client Information & Comment	AC	YO/BW
P2	12.09.22	For Planning	AG	YO/BW



Illustrative View on Chine Elevation



Illustrative View from the Chine

NOTE:

FOR PV's PLEASE REFER TO ROOF PLAN
CAMU-MAA-ZZ-XX-PL-A-0013

THER EIS NO EXPANSIVE LAWN TO THE EAST SIDE OF
THE NEW BUILDING, AS EXISTING VEGETATION WILL BE
MAINTAINED AS MUCH AS POSSIBLE

RESIDENTS DO NOT HAVE AN ACCESS TO THE GARDEN

4 Northington Street
London, WC1N 2JG
+44 (0)207 490 1904
www.medicalarchitecture.com
London@medicalarchitecture.com

Medical
Architecture

CLIENT
DHUFT

PROJECT
CAMHS_PICU

DRAWING TITLE
Planning - External Visualisation 2

PROJECT NUMBER	SCALE @ A3	SUITABILITY	REVISION DATE
964	n/a	S4	12.09.22

DRAWING NUMBER	REVISION
CAMU-MAA-ZZ-XX-PL-A-0019	P2



Street View 1



Street View 2

Copyright. All rights reserved
This work is copyright and cannot be produced or copied in any form or by any means (graphic, electronic or mechanical including photocopying) without written permission of the originator. Any license, express or implied, to use this document for any purpose whatsoever is restricted to the terms of the agreement or implied agreement between the originator and the instructing party.

DO NOT SCALE FROM THIS DRAWING. WORK ONLY FROM FIGURED DIMENSIONS. THIS DRAWING TO BE READ IN CONJUNCTION WITH RELEVANT CONSULTANTS DRAWINGS.

REVISION	DATE	DESCRIPTION	DRAWN	CHK/AP
P1	12.08.22	For Client Information & Comment	AC	YO/BW
P2	12.09.22	For Planning	AG	YO/BW
P3	16.09.22	For Planning	AG	YO/BW
P4	16.12.22	Issued for Planning. Visualisations Updated.	CP/AN	YO/BW

NOTE:

FOR PV's PLEASE REFER TO ROOF PLAN
CAMU-MAA-ZZ-XX-PL-A-0013

4 Northington Street
London, WC1N 2JG
+44 (0)207 490 1904
www.medicalarchitecture.com
London@medicalarchitecture.com

Medical
Architecture

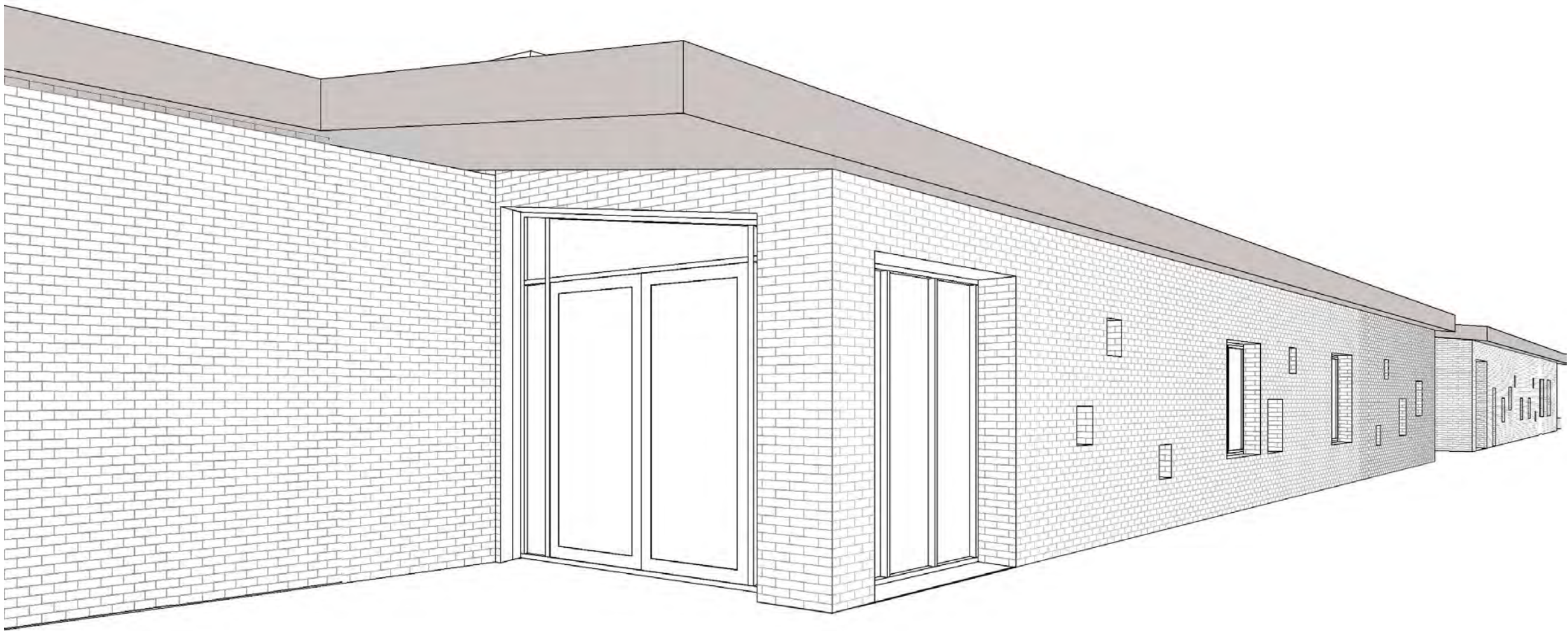
CLIENT
DHUFT

PROJECT
CAMHS PICU Seastone

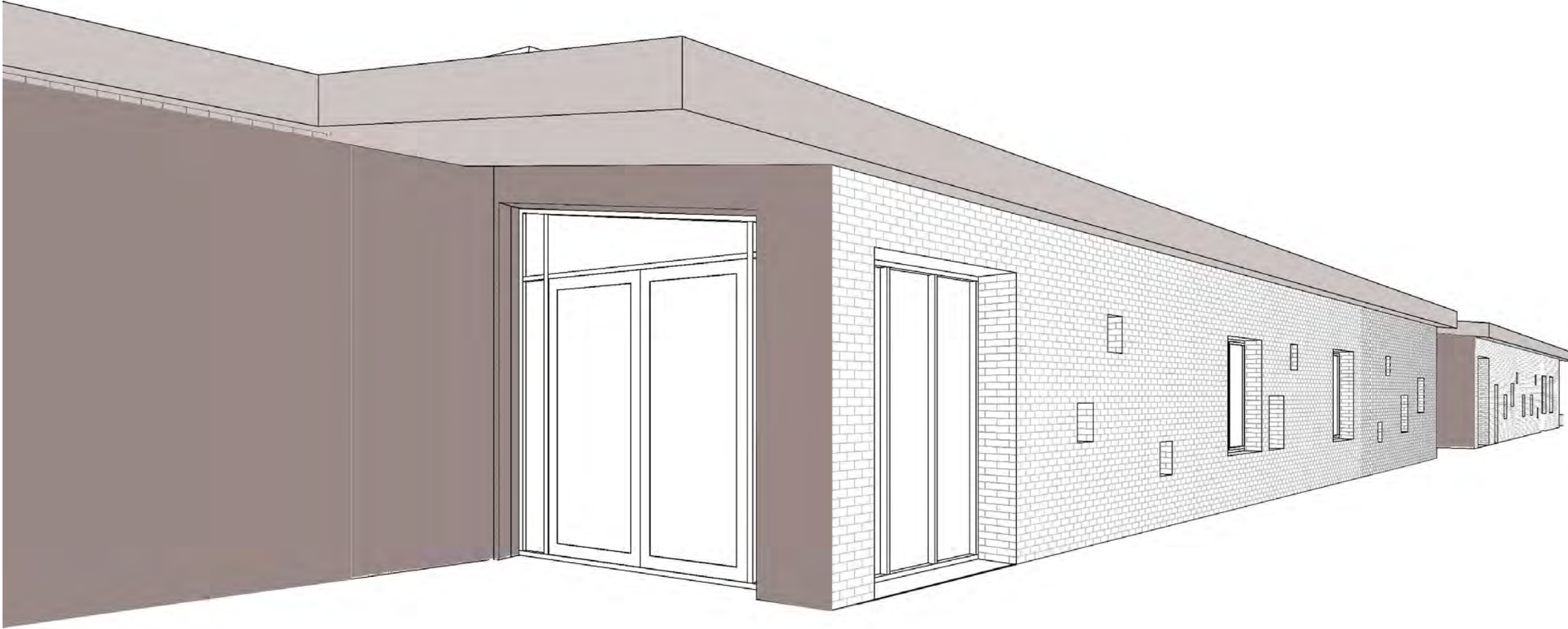
DRAWING TITLE
Planning - External Visualisation 3

PROJECT NUMBER	SCALE @ A3	SUITABILITY	REVISION DATE
964	n/a	S4	16.12.22

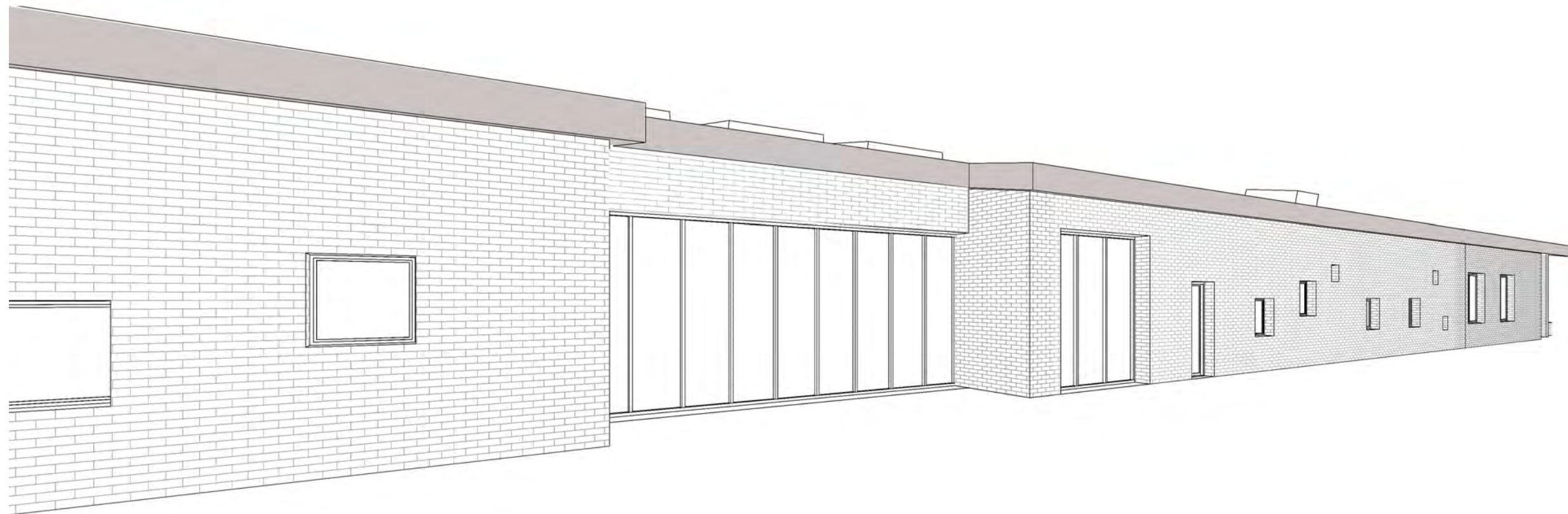
DRAWING NUMBER	REVISION
CAMU-MAA-ZZ-XX-PL-A-0020	P4



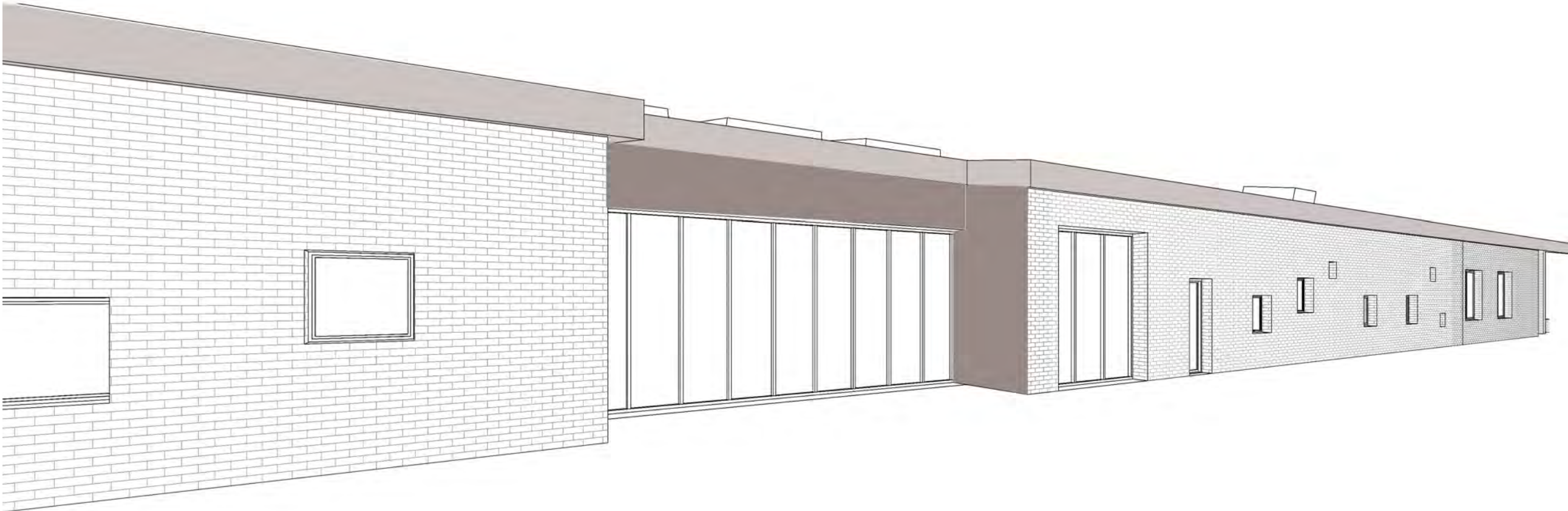
View 1 - Before



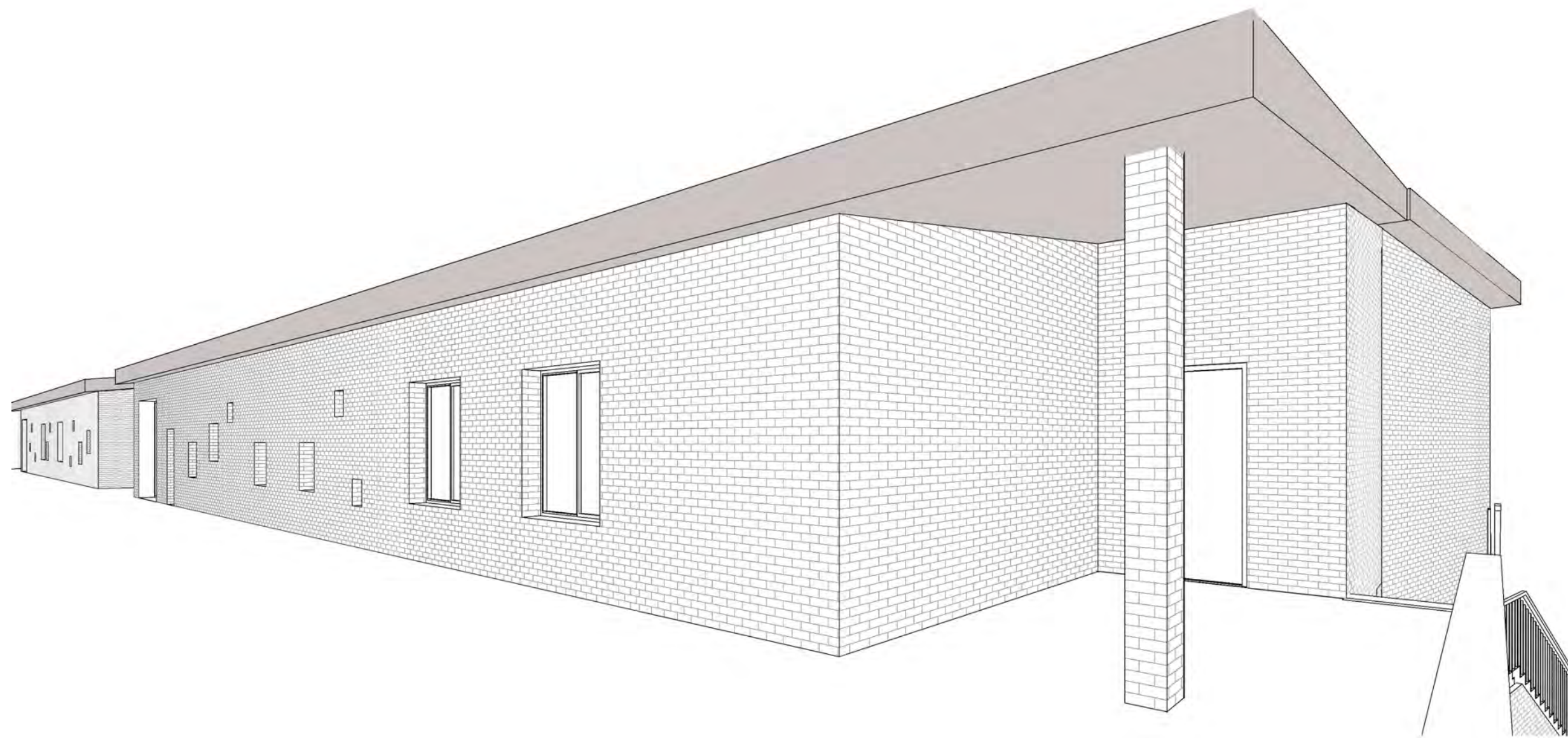
View 1 - After



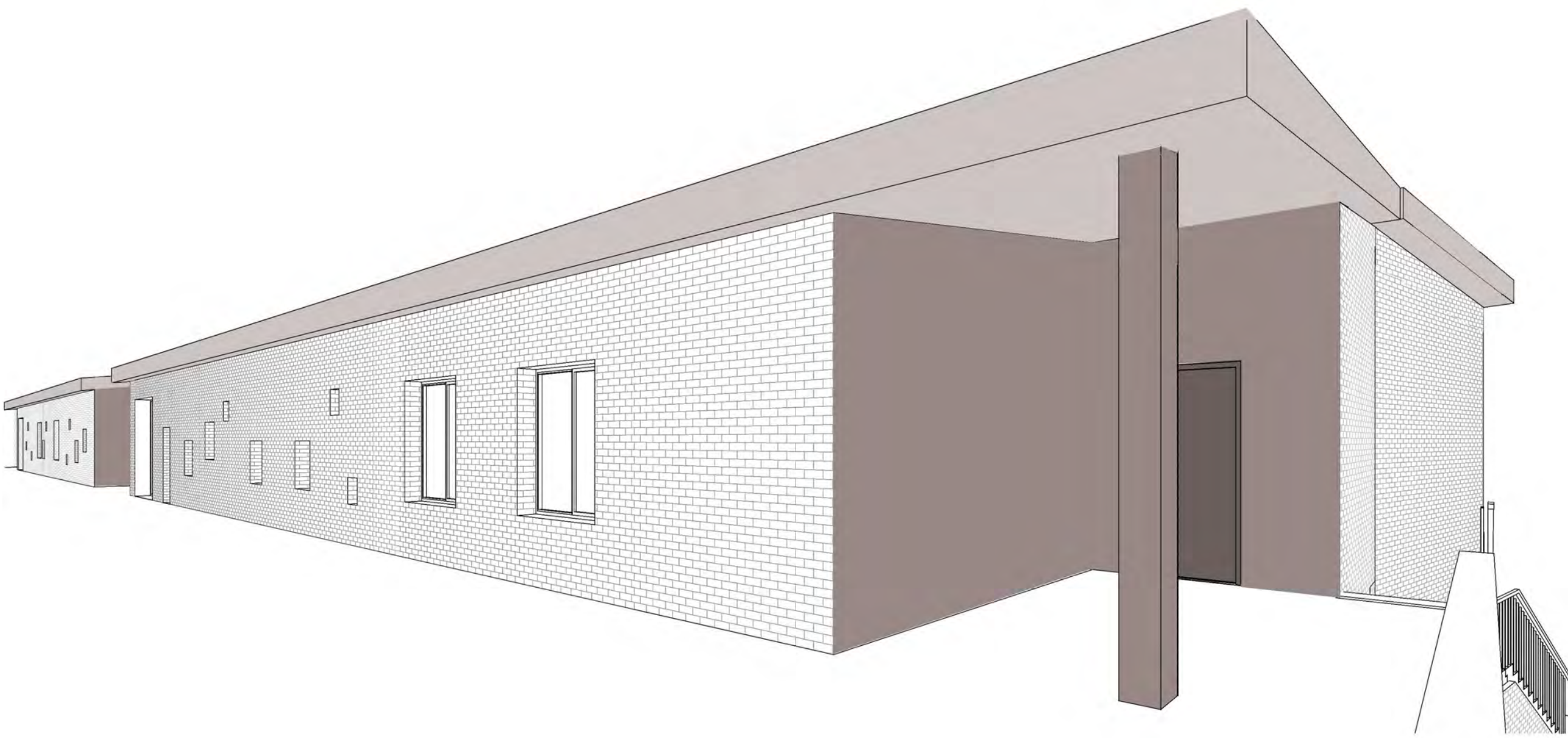
View 2 - Before



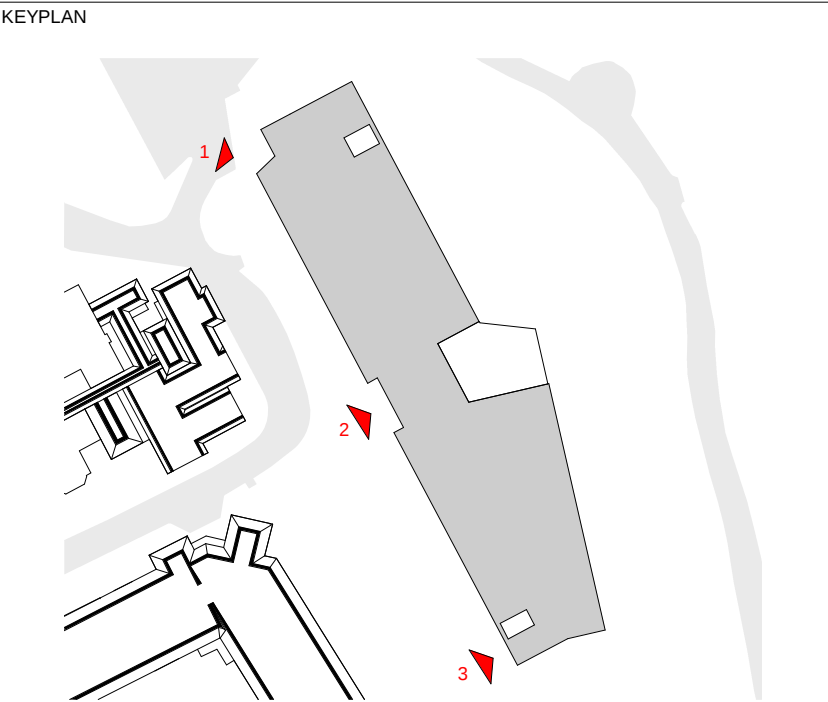
View 2 - After

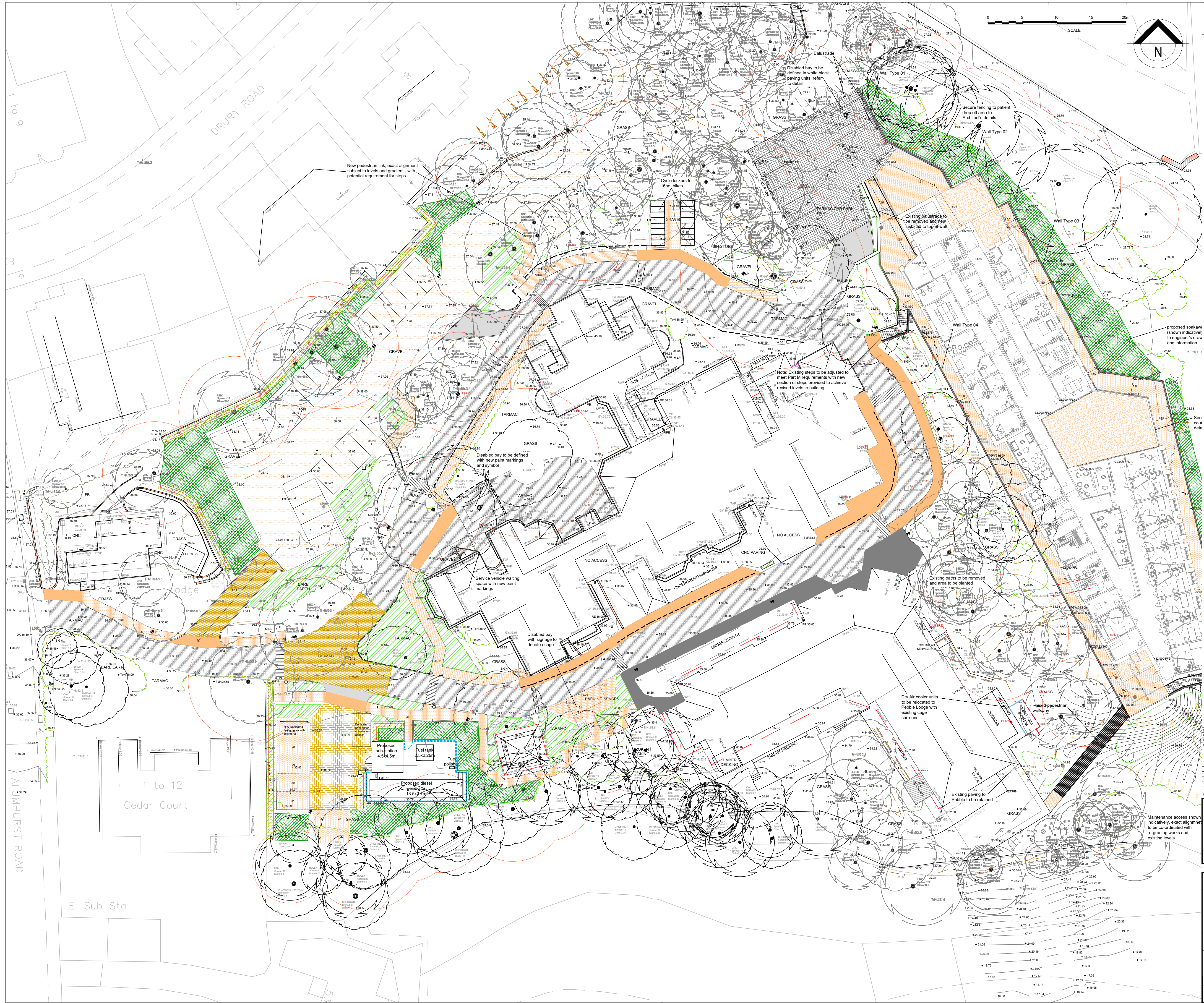


View 3 - Before



View 3 - After





NOTE: This drawing is the copyright of UBU Design LTD, all rights reserved.

Do not scale from this drawing, except for planning purposes only. All dimensions/levels to be checked. UBU Design LTD accept no liability for any expense loss or damage of whatsoever nature and however arising from any variation made to this drawing or in the execution of the work to which it relates which has not been referred to them and their prior approval obtained.

LEGEND

- Existing trees and vegetation to be retained, refer also to arborist report and information for extent of protective fencing
- Extent of tree Root Protection Zone, as defined in the AIA, reference to be made to this document for works in relation to existing trees
- Existing bitmac surfacing to vehicle areas to be retained
- Existing bitmac surfacing to pedestrian areas be retained
- Proposed block paving to car park running aisles, Charcon Europa or equivalent 200 x 100mm paving, colour: Autumn
- Permeable block paving to car park, Charcon Europa Infilla or equivalent 200 x 100mm paving, colour: Charcoal
- Existing consolidated gravel surface to be retained to parking area - with in-ground bay markings to be provided through flush kerb or similar
- Proposed bitmac surfacing to vehicular routes, note: to be used as crossover points or to graded access
- Cellular gravel containment paving, such as Terram Bodge 85, or equivalent. Backfilled with gravel, parking bays to be identified using proprietary bay dividers
- Block paving to proposed pedestrian routes
- Coloured tarmac surface overlay material to existing bitmac surfacing with markings to denote pedestrian route
- Resin bound gravel finish to carriageway
- Cycle locker to provide secure bike parking
- Knee rail to prevent informal parking, refer to details
- Proposed free-standing planter
- Electric vehicle charging point, refer to M&E Engineer's drawings and information for details
- Telescopic bollard - Mild steel bollard with powder coated finish, with in-ground socket
- Feeder pillar for future EV charging point provision. Refer to M&E consultant's drawings and information for details
- Lighting column, refer to M&E Engineer's drawings and information for details
- Lighting bollard, refer to M&E Engineer's drawings and information for details
- Proposed planting - refer to planting plan for details and species
- Proposed tree - refer to planting plan for details and species
- Proposed hedge planting - refer to planting plan for details and species
- Proposed native species thick planting - refer to planting plan for details and species

PS1	21/02/23	Level updated to suit comments received	DA
PS2	21/02/23	Level updated to suit comments received	DA
PS3	21/02/23	Level updated to suit comments received	DA
PS4	21/02/23	Level updated to suit comments received	DA
PS5	21/02/23	Level updated to suit comments received	DA
PS6	21/02/23	Level updated to suit comments received	DA
PS7	21/02/23	Level updated to suit comments received	DA
PS8	21/02/23	Level updated to suit comments received	DA
PS9	21/02/23	Level updated to suit comments received	DA
PS10	21/02/23	Level updated to suit comments received	DA
PS11	21/02/23	Level updated to suit comments received	DA
PS12	21/02/23	Level updated to suit comments received	DA
PS13	21/02/23	Level updated to suit comments received	DA
PS14	21/02/23	Level updated to suit comments received	DA
PS15	21/02/23	Level updated to suit comments received	DA
PS16	21/02/23	Level updated to suit comments received	DA
PS17	21/02/23	Level updated to suit comments received	DA
PS18	21/02/23	Level updated to suit comments received	DA
PS19	21/02/23	Level updated to suit comments received	DA
PS20	21/02/23	Level updated to suit comments received	DA
PS21	21/02/23	Level updated to suit comments received	DA
PS22	21/02/23	Level updated to suit comments received	DA
PS23	21/02/23	Level updated to suit comments received	DA
PS24	21/02/23	Level updated to suit comments received	DA
PS25	21/02/23	Level updated to suit comments received	DA
PS26	21/02/23	Level updated to suit comments received	DA
PS27	21/02/23	Level updated to suit comments received	DA
PS28	21/02/23	Level updated to suit comments received	DA
PS29	21/02/23	Level updated to suit comments received	DA
PS30	21/02/23	Level updated to suit comments received	DA
PS31	21/02/23	Level updated to suit comments received	DA
PS32	21/02/23	Level updated to suit comments received	DA
PS33	21/02/23	Level updated to suit comments received	DA
PS34	21/02/23	Level updated to suit comments received	DA
PS35	21/02/23	Level updated to suit comments received	DA
PS36	21/02/23	Level updated to suit comments received	DA
PS37	21/02/23	Level updated to suit comments received	DA
PS38	21/02/23	Level updated to suit comments received	DA
PS39	21/02/23	Level updated to suit comments received	DA
PS40	21/02/23	Level updated to suit comments received	DA
PS41	21/02/23	Level updated to suit comments received	DA
PS42	21/02/23	Level updated to suit comments received	DA
PS43	21/02/23	Level updated to suit comments received	DA
PS44	21/02/23	Level updated to suit comments received	DA
PS45	21/02/23	Level updated to suit comments received	DA
PS46	21/02/23	Level updated to suit comments received	DA
PS47	21/02/23	Level updated to suit comments received	DA
PS48	21/02/23	Level updated to suit comments received	DA
PS49	21/02/23	Level updated to suit comments received	DA
PS50	21/02/23	Level updated to suit comments received	DA
PS51	21/02/23	Level updated to suit comments received	DA
PS52	21/02/23	Level updated to suit comments received	DA
PS53	21/02/23	Level updated to suit comments received	DA
PS54	21/02/23	Level updated to suit comments received	DA
PS55	21/02/23	Level updated to suit comments received	DA
PS56	21/02/23	Level updated to suit comments received	DA
PS57	21/02/23	Level updated to suit comments received	DA
PS58	21/02/23	Level updated to suit comments received	DA
PS59	21/02/23	Level updated to suit comments received	DA
PS60	21/02/23	Level updated to suit comments received	DA
PS61	21/02/23	Level updated to suit comments received	DA
PS62	21/02/23	Level updated to suit comments received	DA
PS63	21/02/23	Level updated to suit comments received	DA
PS64	21/02/23	Level updated to suit comments received	DA
PS65	21/02/23	Level updated to suit comments received	DA
PS66	21/02/23	Level updated to suit comments received	DA
PS67	21/02/23	Level updated to suit comments received	DA
PS68	21/02/23	Level updated to suit comments received	DA
PS69	21/02/23	Level updated to suit comments received	DA
PS70	21/02/23	Level updated to suit comments received	DA
PS71	21/02/23	Level updated to suit comments received	DA
PS72	21/02/23	Level updated to suit comments received	DA
PS73	21/02/23	Level updated to suit comments received	DA
PS74	21/02/23	Level updated to suit comments received	DA
PS75	21/02/23	Level updated to suit comments received	DA
PS76	21/02/23	Level updated to suit comments received	DA
PS77	21/02/23	Level updated to suit comments received	DA
PS78	21/02/23	Level updated to suit comments received	DA
PS79	21/02/23	Level updated to suit comments received	DA
PS80	21/02/23	Level updated to suit comments received	DA
PS81	21/02/23	Level updated to suit comments received	DA
PS82	21/02/23	Level updated to suit comments received	DA
PS83	21/02/23	Level updated to suit comments received	DA
PS84	21/02/23	Level updated to suit comments received	DA
PS85	21/02/23	Level updated to suit comments received	DA
PS86	21/02/23	Level updated to suit comments received	DA
PS87	21/02/23	Level updated to suit comments received	DA
PS88	21/02/23	Level updated to suit comments received	DA
PS89	21/02/23	Level updated to suit comments received	DA
PS90	21/02/23	Level updated to suit comments received	DA
PS91	21/02/23	Level updated to suit comments received	DA
PS92	21/02/23	Level updated to suit comments received	DA
PS93	21/02/23	Level updated to suit comments received	DA
PS94	21/02/23	Level updated to suit comments received	DA
PS95	21/02/23	Level updated to suit comments received	DA
PS96	21/02/23	Level updated to suit comments received	DA
PS97	21/02/23	Level updated to suit comments received	DA
PS98	21/02/23	Level updated to suit comments received	DA
PS99	21/02/23	Level updated to suit comments received	DA
PS100	21/02/23	Level updated to suit comments received	DA

ubu design

PROJECT: CAMHS - PICU

TITLE: SITE WIDE PARKING LAYOUT

CLIENT: KIER

SCALE: 1:250@A1

JOB NO: 1833

STATUS: S1

DATE: 03/03/2022

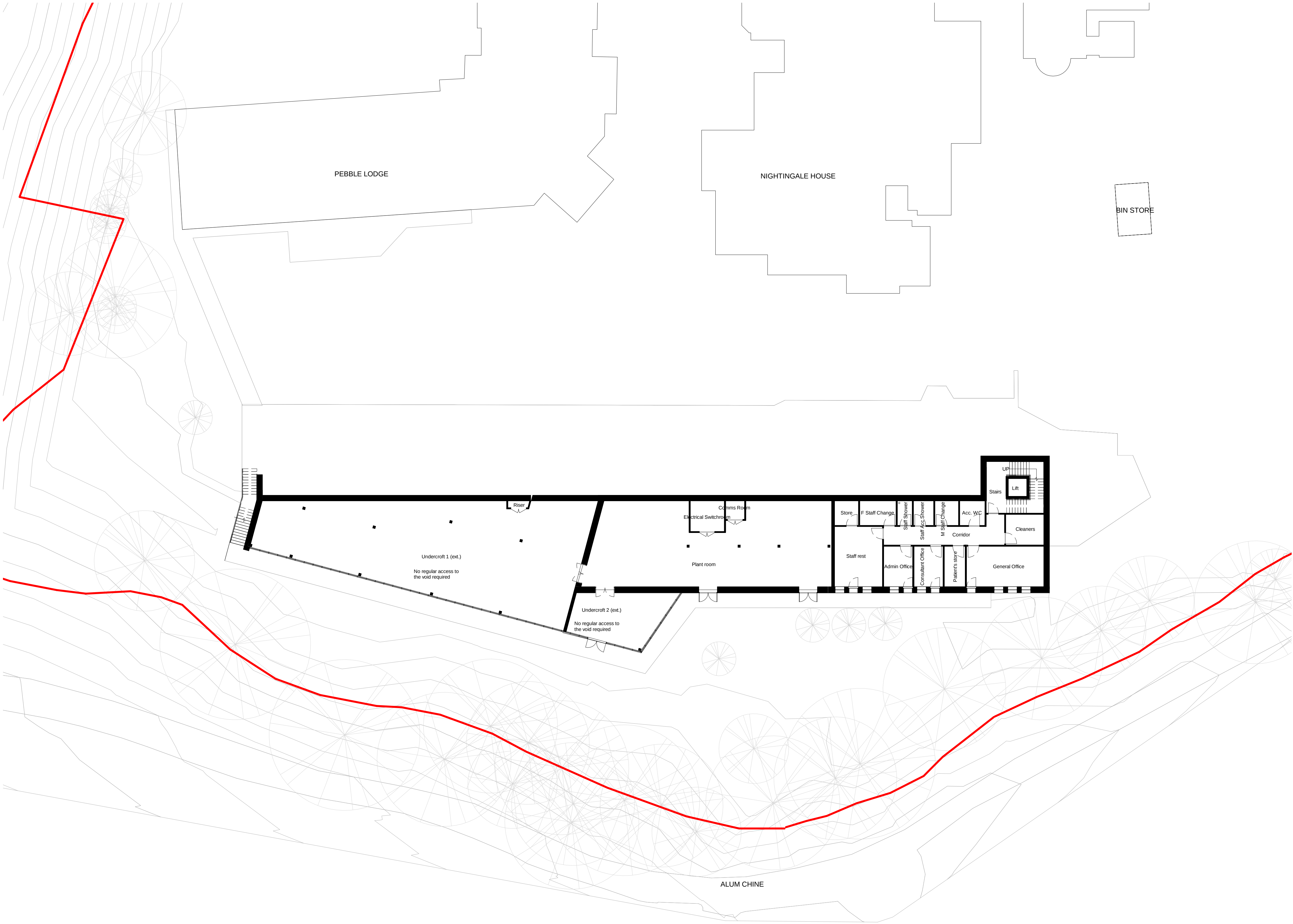
DWG NO: CAMU-UBU-XX-XX-DR-L-1001

REV: P13

DRAFT ISSUE

28/02/03

UBU Design LTD
7a Wintex House, Easton Lane
Business Park, Easton Lane,
Winchester, Hants. SO23 7RQ
+44 (0) 1962 856 008
studio@ubu-design.co.uk
www.ubu-design.co.uk

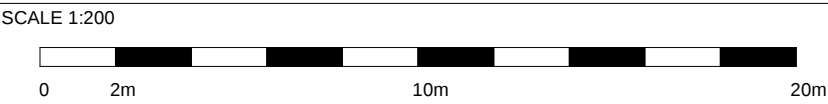


KEY:

PROJECT BOUNDARY & PROPOSED DEVELOPMENT

NOTE:

ON THE PROPOSED PLANS TREES ARE SHOWN INDICATIVELY. REFER TO HELLIS TREE REPORT AND LANDSCAPE ARCHITECTS DRAWINGS



4 Northington Street
London, WC1N 2JG
+44 (0)207 490 1904
www.medicalarchitecture.com
London@medicalarchitecture.com

Medical Architecture

CLIENT
DHUFT

PROJECT
CAMHS_PICU

DRAWING TITLE
Planning - General Arrangement Plan - Lower Ground Floor

PROJECT NUMBER 964	SCALE @ A1 1:200	SUITABILITY S4	REVISION DATE 12.09.22
-----------------------	---------------------	-------------------	---------------------------

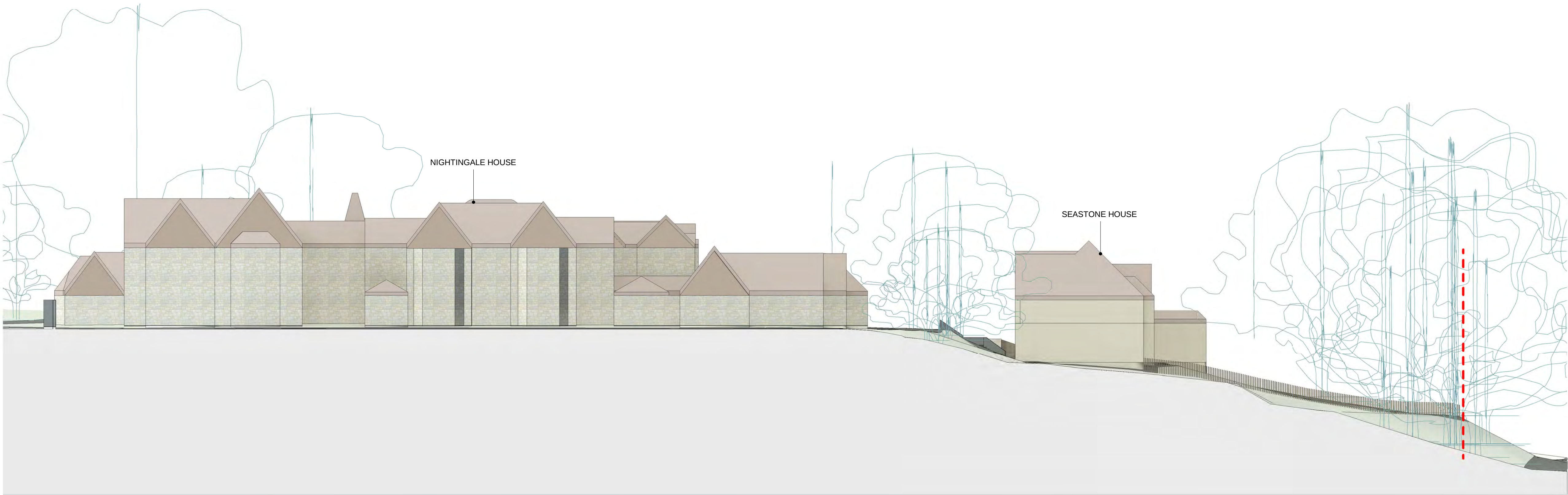
DRAWING NUMBER CAMU-MAA-ZZ-XX-PL-A-0011	REVISION P2
--	----------------

This work is copyright and cannot be produced or copied in any form or by any means (graphic, electronic or mechanical including photocopying) without written permission of the originator. Any license, express or implied, to use this document for any purpose whatsoever is restricted to the terms of the agreement or implied agreement between the originator and the instructing party.

 PROJECT BOUNDARY & PROPOSED DEVELOPMENT

ON THE PROPOSED PLANS TREES ARE SHOWN
INDICATIVELY, REFER TO HELLIS TREE REPORT AND
LANDSCAPE ARCHITECTS DRAWINGS

Medical Architecture



Existing Section - East/West
1 : 200



Proposed Site Section - East/West
1 : 200

KEYPLAN

SCALE 1:200

0 2m 10m 20m

4 Northington Street
London, WC1N 2JG
+44 (0)207 490 1904
www.medicalarchitecture.com
London@medicalarchitecture.com

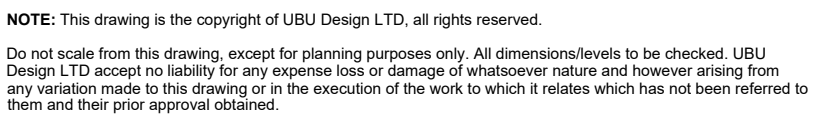
Medical Architecture

CLIENT
DHUFT

PROJECT
CAMHS_PICU

DRAWING TITLE
Planning - Site Section

PROJECT NUMBER 964	SCALE @ A1 1:200	SUITABILITY S4	REVISION DATE 12.09.22
DRAWING NUMBER CAMU-MAA-ZZ-XX-PL-A-0010			REVISION P2



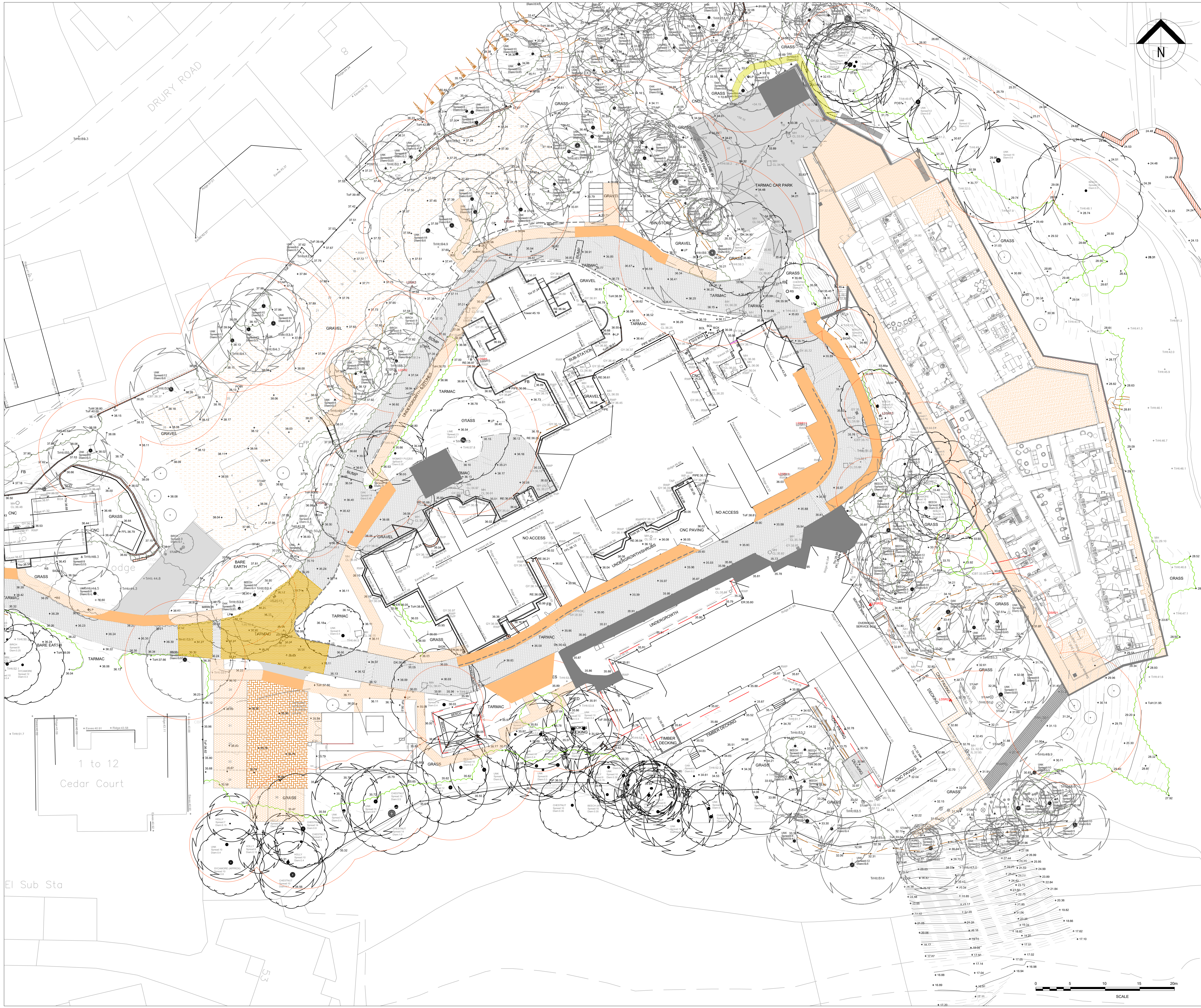
Proposed tree, refer to planting plans and schedule
for species

ubu
design

UBU Design LTD
7a Wintex House, Easton Lane
Business Park, Easton Lane,
Winchester, Hants, SO23 7RQ
+44 (0) 1962 856 008
studio@ubu-design.co.uk
www.ubu-design.co.uk

DWG NO: CAMU-UBU-XX-XX-DR-L-1004

DWG NO: CAMU-UBU-XX-XX-DR-L-1004



NOTE: This drawing is the copyright of UBU Design LTD, all rights reserved.

Do not scale from this drawing, except for planning purposes only. All dimensions/levels to be checked. UBU Design LTD accept no liability for any expense loss or damage of whatsoever nature and however arising from any variation made to this drawing or in the execution of the work to which it relates which has not been referred to them and their prior approval obtained.

LEGEND

- Existing bitmac surfacing to vehicle areas to be retained
- Existing bitmac surfacing to pedestrian areas be retained
- Proposed block paving to car park running aisles, Marshalls keylock or equivalent 200 x 100mm paving, colour: Burnt Ochre
- Car park to be resurfaced in bitmac, refer to engineer's details
- Cellular gravel containment paving, such as Terram Bodpave 85, or equivalent. Backfilled with gravel, parking bays to be identified using proprietary bay dividers
- Sureset or equivalent resin bound gravel surface to courtyard. Colour: Butterscotch.
- Tobemore Hydropave Fusion permeable concrete block paving 200x100x60mm depth, or equivalent. Colour: Silver and Midgrey. Laid in stretcher bond. Note: No-dig construction as required below trees to be retained
- Surface overlay material to existing bitmac surfacing with markings to denote pedestrian route
- Stabilised plastic grid system, such as Bodpave, backfilled with topsoil and seed to form maintenance access path. Exact alignment to be agreed on site to avoid existing trees

REV	DATE	COMMENTS	DRN	CHK	APP

ubu design

UBU Design LTD
7a Wintex House, Easton Lane
Business Park, Easton Lane,
Winchester, Hants. SO23 7RQ
+44 (0) 1962 856 008
studio@ubu-design.co.uk
www.ubu-design.co.uk

PROJECT: CAMHS - PICU

TITLE: SURFACING AND KERB LAYOUT PLAN

CLIENT: KIER

SCALE: 1:250@A1	DATE: 25/11/2022
JOB NO: 1833	DWG NO: CAMU-UBU-XX-XX-DR-L-1005
STATUS: S1	REV: --

0 5 10 15 20m

SCALE